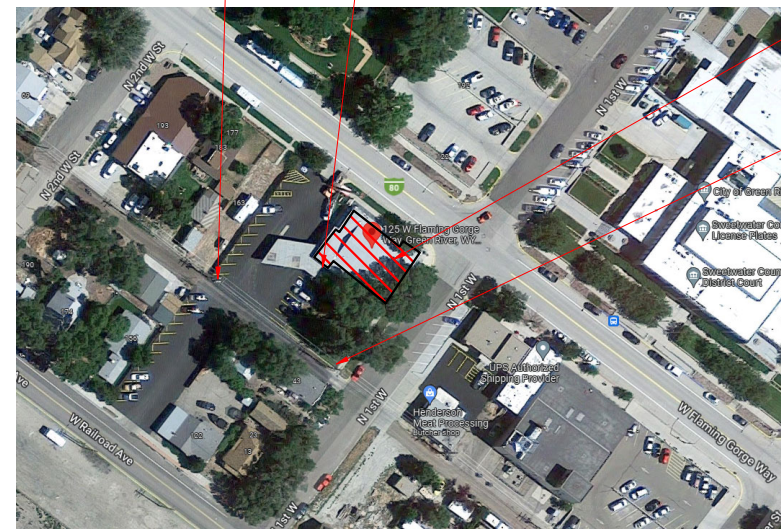


SITE PLAN

POLE MOUNTED TRANSFORMER
GAS METER



1 AERIAL VIEW
N.T.S.

BUILDING INFORMATION

CONSTRUCTION TYPE: WOOD FRAMING / STONE EXTERIOR
OF FLOORS: 1-STORY
FIRE PROTECTION: NON-SPRINKLERED
OCCUPANCY USE GROUP: B-BUSINESS

LOW VOLTAGE PERMIT- UTD
 ASBESTOS REPORT- UTD

PLAN NORTH VS TRUE NORTH

PLAN NORTH IS BASED ON THE PREDOMINANT AXIS OF THE BUILDING GEOMETRY. FOR THIS PROJECT, PLAN NORTH POINTS TOWARDS THE TOP OF THE DRAWING AREA. ALL VIEWS IN THIS DRAWING SET USE PLAN NORTH AS ITS ORIENTATION.

TRUE NORTH IS THE REAL-WORLD NORTH DIRECTION BASED ON SITE CONDITIONS. TRUE NORTH INFORMATION IS NOT USED OR PROVIDED FOR THESE DOCUMENTS.

EXTERIOR SIGN CIRCUIT INSTALLATION INSTRUCTIONS

GENERAL CONTRACTOR (GC) TO VERIFY EXISTENCE AND FUNCTIONALITY OF SIGN CIRCUIT ALONG SIGN BAND SERVING SUBJECT SPACE. EXISTING CIRCUIT MUST BE LOCATED IN/ON THE SIGN BAN ABOVE THE SUBJECT SPACE AND WITHIN SIX FEET (6') OF THE CENTERLINE OF THE SPACE. THE CIRCUIT SHOULD BE A DIRECT FEED FROM THE ELECTRICAL PANEL WITHIN THE TENANT SPACE AND BE FED THROUGH A PHOTOCELL. SHOULD THE CIRCUIT NOT EXIST AND/OR BE DEEMED NONFUNCTIONAL, GC TO PROVIDE INSTALLATION OF NEW DEDICATED SIGN CIRCUIT, PHOTOCELL AND JUNCTION BOX TO BE MOUNTED WITHIN THE SIGN BAND NO MORE THAN SIX FEET (6') FROM THE CENTERLINE OF THE SUBJECT SPACE. COST FOR INSTALLATION OF THE CIRCUIT, JUNCTION BOX AND PHOTOCELL TO BE INCLUDED IN THE BASE ELECTRICAL BID FOR THE PROJECT AS WELL AS FINAL CONNECTION OF SIGN BY ELECTRICIAN IF REQUIRED BY CODE. EXTERIOR SIGNAGE TO BE PROVIDED AND INSTALLED BY TENANT'S SIGN CONTRACTOR (UNDER A SEPERATE PERMIT) GENERAL CONTRACTOR TO COORDINATE ELECTRICAL REQUIREMENTS WITH SIGN VENDOR.

Edward Jones

BRANCH REAL ESTATE

BRANCH OFFICE: 19160

**125 W. FLAMING GORGE WAY,
 GREEN RIVER, WY
 82935-4213**

GENERAL NOTES

- ALL ITEMS ARE TO BE COMPLETED PER EDWARD JONES SPECIFICATIONS (SEE SHEETS 6-8) UNLESS NOTED OTHERWISE.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS; IF THERE ARE ANY CHANGES, REVISIONS, OR DISCREPANCIES PLEASE CALL: **p: 314.515.1819**
 *EXISTING AND NEW PARTITION DIMENSION MAXIMUM TOLERANCE IS 4" UNLESS NOTED AS HOLD.
- CONTRACTOR TO CONTACT THE CITY TO DETERMINE IF ANY UPGRADES WILL NEED TO BE MADE TO COMPLY WITH LOCAL, STATE, OR PROVINCIAL CODES, INCLUDING FIRE MARSHALL FOR SPRINKLER AND ALARM SYSTEMS.
- CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE CODE ACCEPTABLE PROJECT. CONTRACTOR MUST SATISFY ALL LANDLORD REQUIREMENTS AND TENANT'S FINAL PUNCH LIST.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL BUILDING CODES AND ALL OTHER APPLICABLE BUILDING CODES.
- CONTRACTOR TO PROVIDE NEW ELECTRICAL DEVICES AS INDICATED ON PLAN IF AN EXISTING DEVICE IS NOT WITHIN 36" OF DEVICE INDICATED.
 *DO NOT REMOVE DEVICES THAT ARE EXISTING IN REMAINING WALLS, UNO. VERIFY EXISTING DEVICES ARE IN GOOD WORKING CONDITION.
- A SWITCH SHALL OCCUR AT EACH EGRESS DOOR, AND SHALL BE 3-WAY IF APPLICABLE FOR MULTIPLE ENTRANCES.
- CONTRACTOR TO PROVIDE AND INSTALL EXIT/EMERGENCY LIGHTS AS REQUIRED BY LOCAL, STATE, OR PROVINCIAL BUILDING CODES.
- CONTRACTOR TO COORDINATE AND INSTALL 3/4" CONDUIT AS REQUIRED BY LOCAL CODE FROM BUILDING SOURCE (DEMARC) TO BOC LOCATION (INDICATED ON PLAN, SEE LEGEND)

PROJECT CONTACT INFORMATION

LEASING COORDINATOR / PROJECT MANAGER
 BRANDON BATES p: 314.515.4832
 e: BRANDON.BATES@CUSHWAKE.COM

BUILDING OWNER / PROPERTY MANAGER
 DEVIN TANNER p: 208.716.4382 | c: 307.875.7770
 e: DR.TANNERDDS@GMAIL.COM

FLOORING CONTACT:
 INTERFACE SERVICES - <https://edwardjones.guides.interface.com/global-products-standards>
 e: EDWARDJONES@INTERFACE.COM

EDJ LOGO CONTACT:
 METAL LOGOS - DEB GORAT
 p: 402.339.3264 | e: DEB@METALLOGOS.COM

BRAND WALL REVEAL CONTACT:
 FRY REGLET - JASON MCDONALD
 p: 1.800.237.9773 | e: JASONMCDONALD@FRYREGLET.COM

TABLE OF CONTENTS

- COVER SHEET
- DEMO PLAN
- PARTITION PLAN
- FINISH PLAN
- FURNITURE / EDJ EQUIPMENT PLAN
- FINISH SPECIFICATIONS
- FINISH SPECIFICATIONS
- FINISH SPECIFICATIONS

LEGEND

E	EXISTING		DUPLEX RECEPTACLE
L	LANDLORD'S RESPONSIBILITY		QUADRUPLEX RECEPTACLE
----	DEMO PARTITION		DEDICATED SIMPLEX RECEPTACLE TO BE MARKED WITH "D" & ORANGE
=====	EXIST. PARTITION	GFI	GFI DUPLEX RECEPTACLE
=====	EXIST. DEMISING PARTITION		RECESSED DUPLEX RECEPTACLE
=====	NEW PARTITION		ELECTRICAL PANEL
=====	NEW PARTITION/ INSUL.	EP	ELECTRICAL PANEL
=====	NEW DEMISING PARTITION		SINGLE GANG PHONE/DATA BOX
=====	HEADER		DOUBLE GANG PHONE/DATA BOX
	EXISTING DOOR	\$	SWITCH
	NEW DOOR	\$ ³	3-WAY SWITCH
	WATER HEATER	T	THERMOSTAT LOCATION
	WATER COOLER TO BE PROVIDED BY FINANCIAL ADVISOR		FIRE EXTINGUISHER
	FURNACE		EXIT/EMERGENCY COMBO
			EXIT/EMERGENCY LIGHT

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	2022.08.30	ENTRY DOOR AND BRAND WALL SPECS UPDATED
2	2022.11.09	RR REMOVED FROM EDJ SUITE
3	2022.11.22	RR ADDED; GENERAL ROOM TAGS UPDATED
4	2022.12.08	PARTITION NOTE UPDATED FOR OPEN 106.

****DO NOT SCALE DRAWINGS****

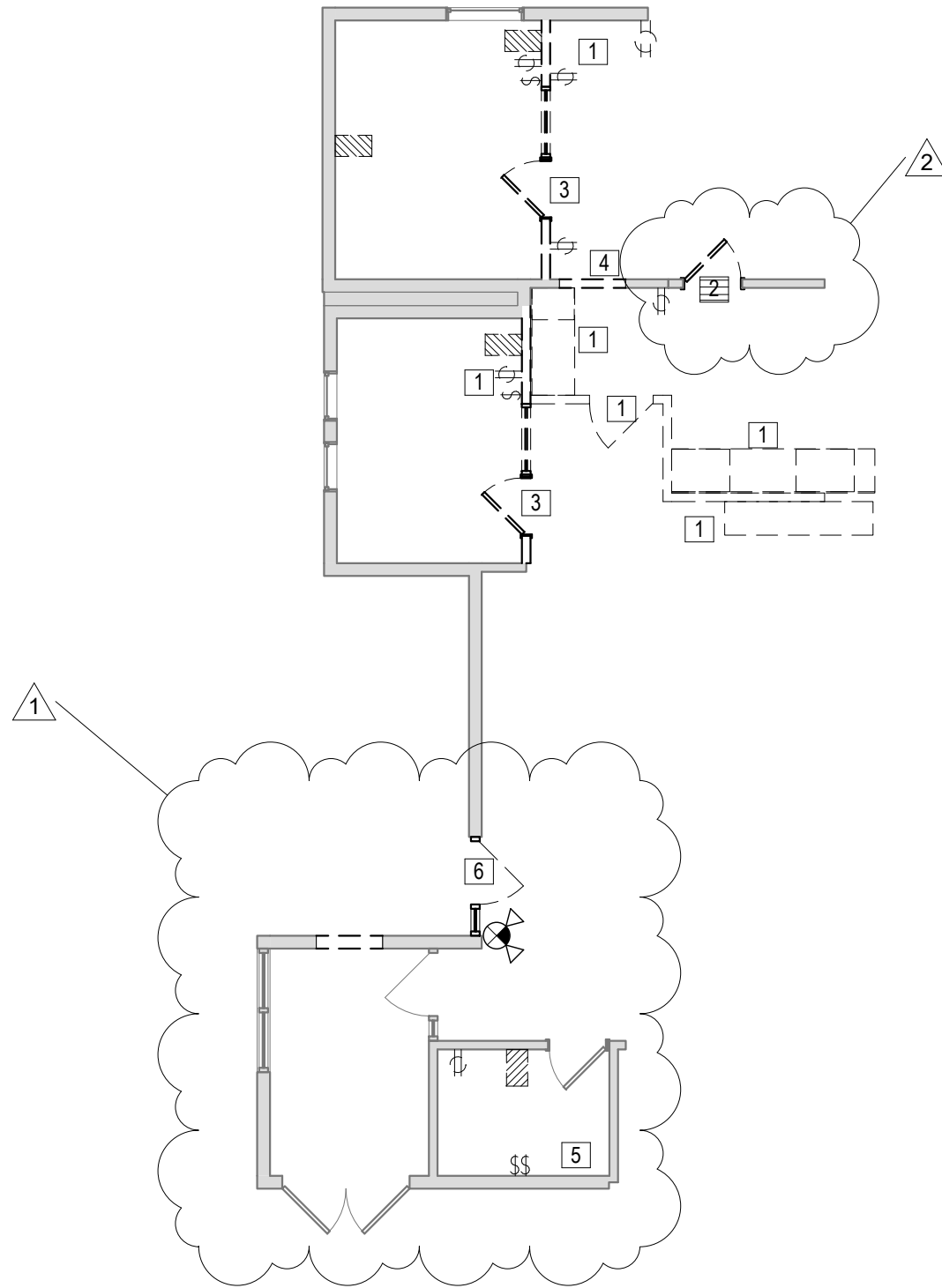
**CONTRACTOR MUST HAVE (8) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT DESIGNER: VICTORIA_THROGMORTON AT: p: 314.515.1819

125 W. FLAMING GORGE WAY,
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 82935-4213

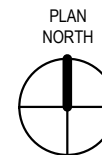
Edward Jones
 BRANCH REAL ESTATE
 BRANCH OFFICE: 19160
 DATE: 06.23.2022

EXHIBIT A
 COVER SHEET
 SHEET 1 of 8

SQUARE FOOTAGE: 1163 SF



1 DEMOLITION PLAN
1/8" = 1'-0"



SITE SPECIFIC NOTES

SITE WORK

1. DEMO EXISTING OUTLETS OVER 18" A.F.F.,
2. DEMO ALL ABANDONED PIPING & VOICE/DATA WIRING.
3. REMOVE EXISTING ELECTRICAL POWER/EQUIPMENT AS SHOWN ON PLAN; PATCH AND REPAIR TO ACCEPT NEW FINISHES.
4. REMOVE ANY EXISTING IVORY/BEIGE OUTLET/SWITCH FACEPLATES AND SOCKETS; TO BE REPLACED WITH WHITE.
5. REMOVE EXISTING FLOORING, WALL BASE, & FLOORING ADHESIVES THROUGHOUT.
6. DEMO ALL EXISTING SURFACE MOUNTED LIGHTING, SPECIALTY LIGHTING, CEILING MOUNTED MOUNTED SPEAKERS THROUGHOUT TENANT SPACE, PREPARE FOR INSTALLATION OF NEW LIGHTING AS SPECIFIED.
7. REMOVE EXISTING EXIT LIGHTING.
8. REMOVE CONDUIT IN ROOM 104.

DEMOLITION KEYED NOTES [X]

1. REMOVE ALL EXISTING PARTITIONS/DOOR & FRAME/WINDOWS/CASEWORK THROUGHOUT TENANT SPACE, AS SHOWN. PATCH AND REPAIR TO ACCEPT NEW FINISHES.
2. REMOVE EXISTING DOOR INCLUDING FRAMING; INFILL WITH NEW INSULATED PARTITION TO MATCH EXISTING.
3. REMOVE EXISTING DOOR, FRAME & WINDOW; RELOCATE AS SHOWN ON PARTITION PLAN.
4. REFER TO PARTITION PLAN FOR PLACEMENT OF NEW DOOR.
5. REMOVE EXISTING SAFE EQUIPEMENT; PATCH AND REPAIR TO ACCEPT NEW FINISHES.
6. REMOVE EXISTING DOOR/WINDOW INCLUDING FRAMING; INFILL WITH NEW INSULATED PARTITION TO MATCH EXISTING.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	2022.08.30	ENTRY DOOR AND BRAND WALL SPECS UPDATED
2	2022.11.09	RR REMOVED FROM EDJ SUITE

****DO NOT SCALE DRAWINGS****

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SQUARE FOOTAGE: 1163 SF

Edward Jones

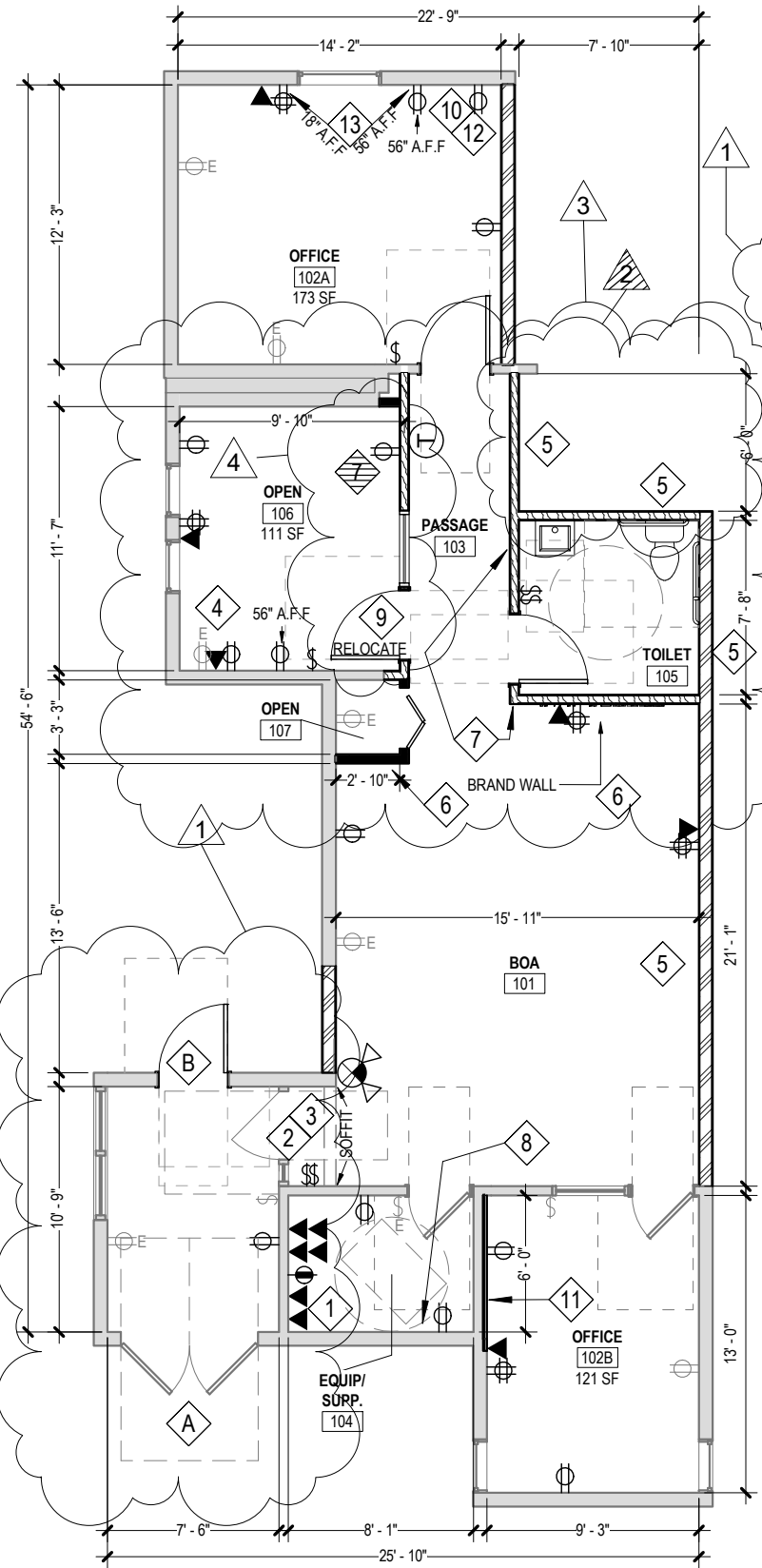
BRANCH REAL ESTATE

BRANCH OFFICE: 19160

DATE: 06.23.2022

EXHIBIT A
DEMO PLAN

****BRANCH TO BE LOW-VOLTAGE PREWIRED****



1 PARTITION PLAN
1/8" = 1'-0"

EXTERIOR SCOPE OF WORK X

FOR REFERENCE IN LEASE AGREEMENT
LANDLORD TO COMPLETE ALL INDICATED SCOPE OF WORK PRIOR TO DELIVERY OF SPACE OR ACCORDING TO LEASE TERMS. LANDLORD TO ENSURE ALL COMPLETED WORK IS DONE TO MEET ADA AND BUILDING CODE REQUIREMENTS.

A. PROVIDE / INSTALL ADA COMPLIANT RAMP MODIFY EXISTING RAMP TO MEET CODE REQUIREMENT. MODIFICATIONS INCLUDE, BUT ARE NOT LIMITED TO:
 • MODIFYING RAMP RUNS TO NOT EXCEED 1:12 SLOPE.
 • INSTALL MINIMUM SIZE LANDING AT TOP AND/OR BOTTOM OF RAMP; LANDING NOT TO EXCEED 1:48 SLOPE IN ALL DIRECTIONS.

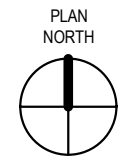
B. INSTALL NEW ENTRY DOOR WITH GLASS INSERT TO MEET BUILDING STANDARD & ALL LOCAL FIRE CODES.

PARTITION KEYED NOTES X

- PHONE COMPANY SERVICE TO BE INSTALLED AT BOC LOCATION PER DETAIL ON SHEET 8 OF 8 AND PER SPECIFICATIONS ON 1ST DAY OF CONSTRUCTION. **EMAIL PHOTO TO LEASING COORDINATOR TO CONFIRM WORK ASAP.**
- INSTALL DOOR CHIME AT ENTRY DOOR. CHIME TO BE LOCATED IN 103. HEATH ZENITH WIRELESS DOOR ALERT WITH WHITE COVER & HORIZONTAL LINES - HOME DEPOT MODEL #SL- 7368-02 OR COMPARABLE ALTERNATIVE.
- IF LOCAL CODE WILL NOT ALLOW FOR THUMB-TURN LOCKSET AT ENTRY DOOR, **NOTIFY DESIGNER IMMEDIATELY** WITH ALTERNATIVE OPTIONS FOR LOCKSETS WITH INTERIOR LOCKING MECHANISMS.
- INSTALL (1) DUPLEX OUTLET @ 56" AFF FOR FUTURE FA-PROVIDED WALL-MOUNTED TV, AND (1) DUPLEX OUTLET AND (1) DATA BOX WITH PULL STRING @ 18" AFF, FOR FUTURE CPU HOOKUP. REFER TO PLAN AND TYPICAL DETAIL ON SHEET 5 FOR LOCATION ON THE WALL. CONTRACTOR TO INSTALL BLOCKING IN WALL AS NEEDED FOR WALL-MOUNTED TV. FA TO SUPPLY AND INSTALL TV, WALL MOUNT, AND REQUIRED DISPLAY PORT CABLES.
- CONSTRUCT NEW INSULATED DEMISING PARTITION TO DECK & PREP FOR NEW FINISHES. IF PROPERTY UTILIZES A PLENUM RETURN FOR ENTIRE BUILDING, TAKE NEW DEMISING PARTITION TO UNDERSIDE OF CEILING & INSTALL SECURITY FENCING FROM TOP OF PARTITION TO DECK TO PROVIDE A SECURE DEMISING PARTITION. FINISH DEMISING WALL ON BOTH SIDES **ONLY** IF REQUIRED BY CODE. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF THIS IS REQUIRED DURING THE BIDDING PROCESS.
- EXTEND PARTITION ABOVE WOODEN GIRDER, CAULK AND SEAL TO PREVENT SOUND TRANSFER.
- EXTEND PARTITION UP TO SLOPED CEILING, CAULK AND SEAL TO PREVENT SOUND TRANSFER.
- REMOVE SAFE CHUTE. SEAL OFF HOLE EXPOSING EXTERIOR OF BUILDING. PATCH AND REPAIR AREA. LAMINATE PARTITION AS REQUIRED FOR NEW FINISHES.
- DOOR AND GLASS SIDELIGHT TO BE RELOCATED AS SHOWN ON PLAN; PROVIDE NEW TRIM AS NEEDED AND MATCH TO EXISTING.
- LAMINATE EXISTING CMU PARTITION AS REQUIRED FOR NEW FINISHES.
- FURR EXISTING PARTITION, AS REQUIRED FOR NEW FINISHES.
- INSTALL (1) DUPLEX OUTLET @ 56" AFF FOR FUTURE FA-PROVIDED WALL-MOUNTED TV. REFER TO PLAN AND TYPICAL DETAIL ON SHEET 5 FOR LOCATION ON THE WALL. FA TO SUPPLY AND INSTALL TV & TV WALL MOUNT.
- CONTRACTOR TO INSTALL (2) CABLE PASS-THRU PORTS TO CONCEAL TV DISPLAY CABLES. (1) PORT TO BE INSTALLED @ 56" AFF, AND (1) PORT TO BE INSTALLED AT STANDARD 18" AFF. CONTRACTOR TO INSTALL PULLSTRING FOR ADVISOR TO RUN FA-PROVIDED DISPLAY CABLE THROUGH WALL. REFER TO PLAN AND TYPICAL DETAIL ON SHEET 5 FOR LOCATION ON THE WALL.

SITE SPECIFIC SCOPE NOTES

- GENERAL CONDITIONS**
- LANDLORD TO DELIVER THE SPACE IN TURNKEY CONDITION.
 - ALL ITEMS TO BE COMPLETED PER EDWARD JONES SPECIFICATIONS, SEE SHEETS 6-8 UNLESS OTHERWISE NOTED. PLEASE NOTE: SITE SPECIFIC NOTES ON SHEETS 1-5 ARE TO SUPERCEDE GENERAL SPECIFICATIONS ON SHEETS 6-8 UNLESS BUILDING STANDARD APPLIES.
 - CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS & WINDOW MULLION PLACEMENT PRIOR TO CONSTRUCTION; IF UNABLE TO VERIFY DIMENSIONS OR IF A DISCREPANCY OCCURS, NOTIFY DESIGNER IMMEDIATELY.
 - VERIFY LOCATION OF ALL EXISTING DEMISING PARTITIONS. VERIFY THEY EXTEND TO THE DECK & ARE INSULATED; EXTEND & ADD INSULATION AS REQUIRED.
- SITE WORK / DEMO**
- REFERENCE SHEET 2 FOR ALL DEMOLITION RELATED SCOPE OF WORK.
 - EXISTING BLINDS TO REMAIN; PROTECT DURING CONSTRUCTION.
- CONCRETE**
- ENSURE ALL FLOORING SURFACES ARE CLEAN, DRY, SMOOTH, & LEVEL WITHIN 3/16" PER EVERY 10 FEET; READY TO ACCEPT NEW FINISHES PER FINISH SCHEDULE.
 - TRENCH AND CORE FOR NEW PLUMBING AS NEEDED PER PLANS; PATCH AND PREP FOR NEW FINISHES.
- THERMAL & MOISTURE PROTECTION**
- INSTALL 4FT LAY-IN BATT INSULATION ABOVE DROPPED CEILING AT ROOM 102A, 102B AND 106
- DOORS (AND WINDOWS)**
- EXISTING DOORS TO REMAIN AS SHOWN, AND INSTALL NEW 3'-0" SOLID CORE DOORS TO MATCH EXISTING AT 84" H IN 102A. STAIN DOORS AND TRIM TO MATCH EXISTING.
 - INSTALL NEW 2'-8" W X 7'-0" H BI-FOLD WOOD DOOR IN 108; SEE FINISH SCHEDULE ON SHEET 4 FOR SPECS.
 - RELOCATED EXISTING DOORS AS SHOWN; SALVAGE TRIM AND/OR PROVIDE NEW TO MATCH EXISTING AS NEEDED.
 - PROVIDE & INSTALL STOREROOM LOCKSET AT 104 & PRIVACY LOCKSET AT 105.
 - PROVIDE & INSTALL DEADBOLT ON EGRESS DOOR AS SHOWN ON PLAN
 - INSTALL NEW LEVER-STYLE HARDWARE ON ALL DOORS THROUGHOUT THE SPACE; TO MEET ALL ACCESSIBILITY CODES. FINISH TO BE BRUSHED NICKEL.
 - NO DOOR CLOSERS TO BE INSTALLED ON INTERIOR DOORS UNLESS OTHERWISE NOTED; EXISTING DOOR CLOSERS ON INTERIOR DOORS TO BE REMOVED IF IN PLACE.
- CEILING / PARTITIONS / FINISHES**
- INSTALL NEW 2'X4' ACOUSTICAL CEILING GRID & TILES AT 8'-2" A.F.F. WITH 2'X4' LAY-IN LED LIGHT FIXTURES TO MEET EDWARD JONES LIGHTING SPECIFICATIONS IN 105 AND 107.
 - EXISTING CEILING TO REMAIN IN 101A, 102A & 106; PATCH/REPAIR AS REQUIRED. ENSURE CONSISTENT GRID THROUGHOUT SPACE.
 - EXISTING CEILING TO REMAIN IN 101B & 108. PAINT DRYWALL CEILING WHITE THROUGHOUT SPACE.
 - REPLACE ALL STAINED/DAMAGED CEILING TILES THROUGHOUT.
 - PATCH/REPAIR & PREP EXISTING PARTITIONS AS REQUIRED FOR NEW FINISHES; REMOVE EXISTING WALLCOVERING AS REQUIRED.
 - ENSURE ALL PARTITIONS ARE SIMILAR IN TEXTURE; MATCH AS REQUIRED.
 - INSTALL NEW FLOORING PER FINISH SCHEDULE ON SHEET 4. REFER TO FINISH PLAN FOR PATTERN INSTALL DIRECTION.
- MECHANICAL**
- INSTALL/RELOCATE SUPPLY & RETURN GRILLES, INCLUDING DUCTWORK, AS REQUIRED FOR COMPLETE & BALANCED WORKING SYSTEM AND TO ACHIEVE ONE SUPPLY & ONE RETURN AT MINIMUM IN EACH ROOM.
 - CLEAN & CHECK EXISTING HVAC UNIT.
 - PROVIDE & INSTALL DIGITAL PROGRAMMABLE THERMOSTAT IN BOA 101B.
 - INSTALL EXHAUST FAN VENTED TO EXTERIOR & LIGHT FIXTURE IN TOILET 105 AS REQUIRED BY LOCAL CODE; TO BE SEPARATELY SWITCHED.
 - INSTALL 6 GALLON WATER HEATER ABOVE CEILING IN TOILET 105 & PROVIDE BRACING.
 - MODIFY EXISTING SPRINKLER SYSTEM / SMOKE DETECTORS / FIRE ALARMS AS REQUIRED BY LOCAL CODES.
 - RELOCATE EXISTING FIRE EXTINGUISHER IN BRANCH AS REQUIRED BY LOCAL CODES.
- ELECTRICAL**
- BRANCH TO BE LOW VOLTAGE PREWIRED PER DRYWALL CEILING.
 - VERIFY EXISTING ELECTRICAL PANEL MEETS EDJ SPECIFICATIONS; UPGRADE OR ADD SUB-PANEL AS REQUIRED. EP IS LOCATED IN A COMMON AREA, INSTALL BREAKER LOCKS AS REQUIRED.
 - INSTALL NEW ELECTRICAL PER PLAN UNLESS WITHIN 36" OF EXISTING RECEPTACLE; ALL ELECTRICAL TO REMAIN AS SHOWN AT FA AND BOA DESK LOCATIONS.
 - REPLACE EXISTING SWITCHES, OUTLETS, AND FACE PLATES WITH WHITE; NEW SWITCHES, OUTLETS, AND FACE PLATES TO BE WHITE.
 - EXISTING 2' X 4' LIGHTING TO REMAIN IN 101A, 102A, 104, AND 106. RELOCATE EXISTING AND PROVIDE/INSTALL NEW TO MATCH AS NEEDED TO ACCOMMODATE TO NEW PARTITION LAYOUT: ONE FIXTURE PER EVERY 75 USABLE SF, SO AS TO ACCOMMODATE MINIMUM 50 FOOTCANDLES AT DESK LOCATIONS.
 - CLEAN EXISTING LIGHTING LENSES AS NEEDED THROUGHOUT; REPLACE BULBS AS NEEDED.
 - PROVIDE AND INSTALL NEW COMMERCIAL GRADE 2X4 LED LAY-IN LIGHT FIXTURES IN 105 AND 107: ONE FIXTURE PER EVERY 75 USABLE SF, SO AS TO ACCOMMODATE MINIMUM 50 FOOTCANDLES AT DESK LOCATIONS.
 - PROVIDE AND INSTALL NEW COMMERCIAL GRADE 2X4 LED SURFACE MOUNTED LIGHT FIXTURES IN 102B: ONE FIXTURE PER EVERY 75 USABLE SF, SO AS TO ACCOMMODATE MINIMUM 50 FOOTCANDLES AT DESK LOCATIONS.
 - INSTALL COMMERCIAL WALL WASH LIGHT FIXTURE TO ILLUMINATE INTERIOR LOGO AS PER KEYNOTE P2 ON SHEET 4; TO BE SEPARATELY SWITCHED.
 - INSTALL EMERGENCY LIGHTS AT ENTRANCE DOOR AS SHOWN ON PLAN AND AS REQUIRED BY LOCAL CODES.
- PLUMBING**
- INSTALL NEW ADA TOILET, ADA SINK, ADA GRAB BARS, AND ADA COMPLIANT ACCESSORIES MIRROR, SOAP DISPENSER, PAPER TOWEL DISPENSER, & TOILET PAPER DISPENSER. REFERENCE SCHEDULE AND ELEVATIONS ON SHEET 6 FOR INSTALLED DIMENSIONS AND SPECIFICATIONS.
 - CONTRACTOR TO CONFIRM IF FRP PANELING IS REQUIRED. IF REQUIRED; INSTALL FRP PANELING IN RESTROOM TO MEET LOCAL CODES. PANELING TO BE SMOOTH, WHITE.



ISSUES / REVISIONS		
NO.	DATE	DESCRIPTION
1	2022.08.30	ENTRY DOOR AND BRAND WALL SPECS UPDATED
2	2022.11.09	RR REMOVED FROM EDJ SUITE
3	2022.11.22	RR ADDED; GENERAL ROOM TAGS UPDATED
4	2022.12.08	PARTITION NOTE UPDATED FOR OPEN 106.

****DO NOT SCALE DRAWINGS****

****CONTRACTOR MUST HAVE (8) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT DESIGNER: VICTORIA_THROGMORTON AT: p: 314.515.1819**

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BRANCH REAL ESTATE

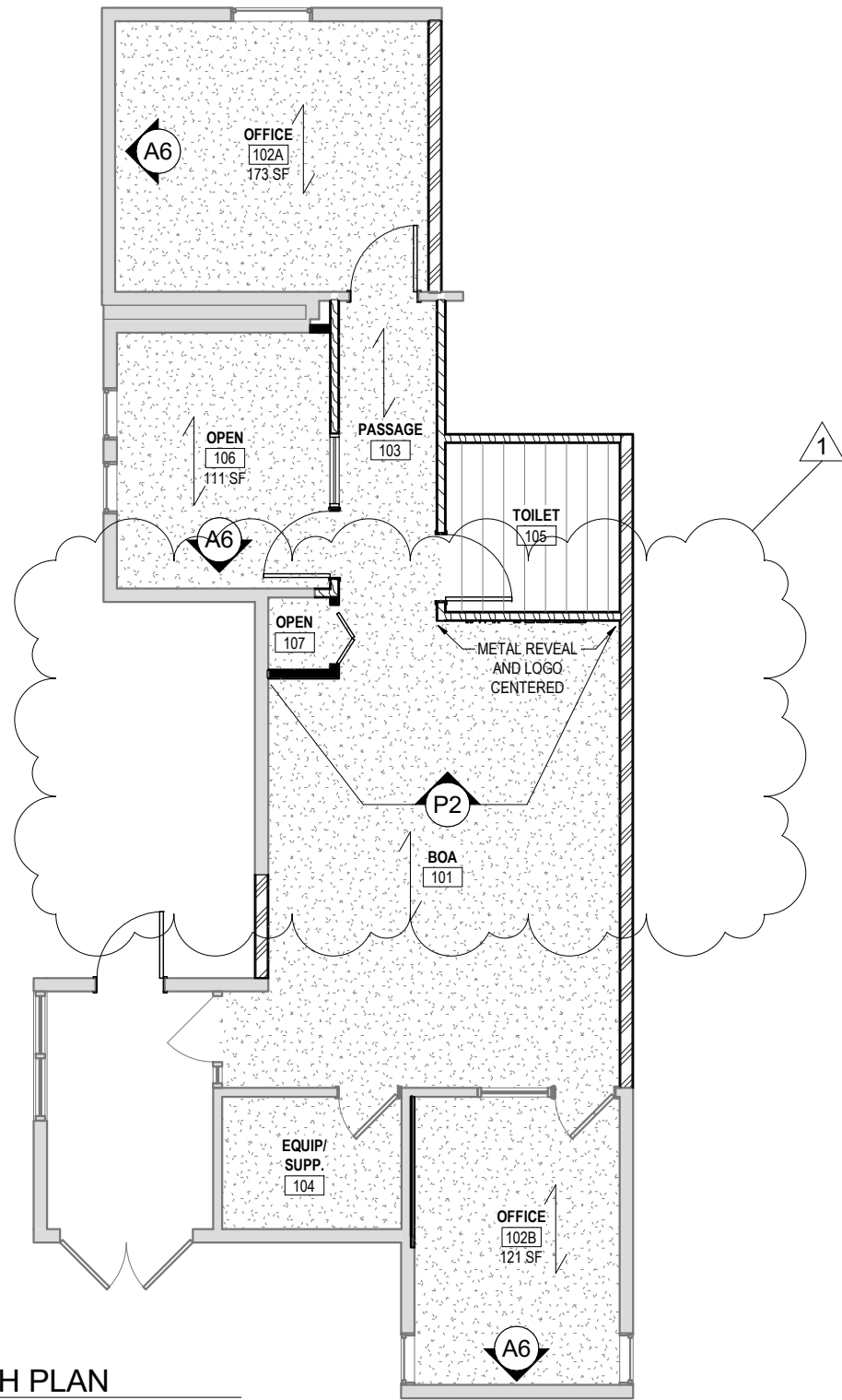
BRANCH OFFICE: 19160

DATE: 06.23.2022

SQUARE FOOTAGE: 1163 SF

EXHIBIT A
PARTITION PLAN
SHEET **3** of 8

1 FINISH PLAN
1/8" = 1'-0"



FINISH KEYED NOTES

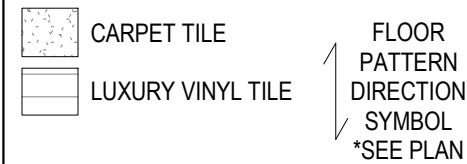
- Ax** WALL TO BE PAINTED WITH ACCENT COLOR, SEE FINISH SPECIFICATIONS FOR ACCENT WALL COLOR CODE.
 - P2** WALL TO BE PAINTED WITH ACCENT COLOR P2, AND EDJ LOGO INSTALLED PER SPECIFICATIONS BELOW...
EDJ LOGO (LETTER KIT W/ PINS ON BACK)
 1. PROVIDE & INSTALL COMMERCIAL LINEAR SLOT WALL WASH LIGHT (SEE SPECIFICATIONS SHEET 7), TO BE INSTALLED IN CEILING 3'-0" AWAY FROM WALL AND CENTERED ON PARTITION.
 2. SIGNAGE TO BE ORDERED BY CONTRACTOR AND WILL BE PAID FOR BY EDWARD JONES. ONLY THE INSTALLATION SHOULD BE INCLUDED IN SCOPE OF WORK.
 3. EDWARD JONES LOGO TO BE CENTERED ON PARTITION AS INDICATED ON PLAN. USE PROVIDED TEMPLATE FOR ACCURATE ALIGNMENT, AND REFER TO SIGNAGE ELEVATION FOR MOUNTING HEIGHT. ALLOW AT LEAST 2" ON EITHER SIDE OF SIGNAGE; IF PARTITION SELECTED DOES NOT MATCH ELEVATION, NOTIFY DESIGNER.
 4. CUSTOM EDJ FRY REGLET WALL REVEAL (EDJ-625-625) TO BE PURCHASED AND INSTALLED BY CONTRACTOR PER MANUFACTURER INSTALL INSTRUCTIONS; SEE SPECIFICATIONS SHEET 8 FOR DETAILS.
- ** FOR ORDERING & INSTALL INSTRUCTIONS, SEE CONTACT INFO ON SHEET 1**

ROOM FINISH SCHEDULE

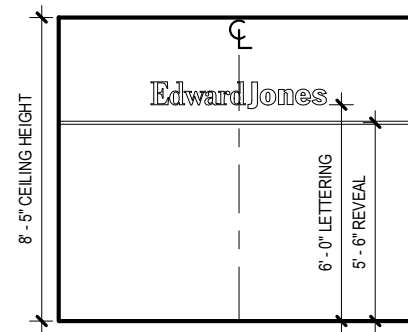
RM. NO.	PAINT	ACCENT	FLOORING	BASE	DOOR	FRAME/TRIM	CEILING	NOTES
101	P1	P2	CPT1	B2	EXIST	EXIST	EXIST DROP	SEE NOTE "P2"
102A	P1	A6	CPT1	B2	MATCH	MATCH	EXIST DROP	SEE NOTE "AX"
102B	P1	A6	CPT1	B2	EXIST	EXIST	EXIST DROP	
103	P1		CPT1	B2			EXIST GYPS.	
104	P1		CPT1	B2	EXIST	EXIST	EXIST DROP	
105	P1		LVT1	B2	MATCH	MATCH	DROP	
106	P1	A6	CPT1	B2	RELOCATED	RELOCATED	EXIST DROP	SEE NOTE "AX"
107	P1		CPT1	B2	MATCH	MATCH	EXIST GYPS.	

FLOOR FINISH KEY

EXIST = EXISTING FINISH TO REMAIN
MATCH = NEW FINISH TO MATCH EXISTING
BLDG STND = BUILDING STANDARD APPLIES



SIGNAGE ELEVATION



P2 REFER TO KEYED NOTE ABOVE

GENERAL NOTES:

1. LOGO TO BE CENTERED ON WALL, U.N.O.
2. REVEAL AVAILABLE IN 10' STANDARD LENGTHS ONLY. REVEAL TO BE CENTERED IF WALL IS LONGER THAN 10'. SEE FINISH PLAN.

FINISH SPECIFICATIONS | TRUSTED PALETTE

- PAINT**
- P1** GENERAL WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 7005 PURE WHITE
 - P2** BRAND WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 7075 WEB GRAY
 - A6** ACCENT WALL PAINT
MFR: SHERWIN WILLIAMS
COLOR: SW 7072 ONLINE
- WALL BASE**
- B2** VINYL WALL BASE
MFR: ROPPE
STYLE: 4" COVE BASE
COLOR: 100 BLACK
- DOOR FRAME/TRIM**
- EXIST** EXISTING TO REMAIN
 - MATCH** STAIN TO MATCH EXISTING
- FLOORING**
- CPT1** GENERAL CARPET TILE
MFR: INTERFACE
STYLE: EJ BOUCLE
COLOR: 189214
SIZE: 25CM X 1M
INSTALL: ASHLAR
 - LVT1** LUXURY VINYL TILE
MFR: INTERFACE
STYLE: STUDIO SET
COLOR: A00704 ESPRESSO
SIZE: 25CM X 1M
INSTALL: RANDOM STAGGERED
- DOORS**
- EXIST** EXISTING TO REMAIN
 - MATCH** STAIN TO MATCH EXISTING

GENERAL NOTES:

1. REFER TO FINISH SPECIFICATIONS ON SHEETS 6-8 FOR MORE INFORMATION REGARDING PAINT FINISH.
2. GC TO NOTE BRANCHES COULD HAVE MULTIPLE ACCENT COLORS, REFER TO PLAN AND SCHEDULE FOR LOCATIONS AND PAINT COLORS INDICATED.
3. GC TO LEAVE 1 CARTON OF CARPET TILE @ BRANCH AT PROJECT COMPLETION.

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	2022.08.30	ENTRY DOOR AND BRAND WALL SPECS UPDATED
2	2022.11.09	RR REMOVED FROM EDJ SUITE
3	2022.11.22	RR ADDED; GENERAL ROOM TAGS UPDATED

****DO NOT SCALE DRAWINGS****

****CONTRACTOR MUST HAVE (8) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT DESIGNER: VICTORIA_THROGMORTON AT: p: 314.515.1819**

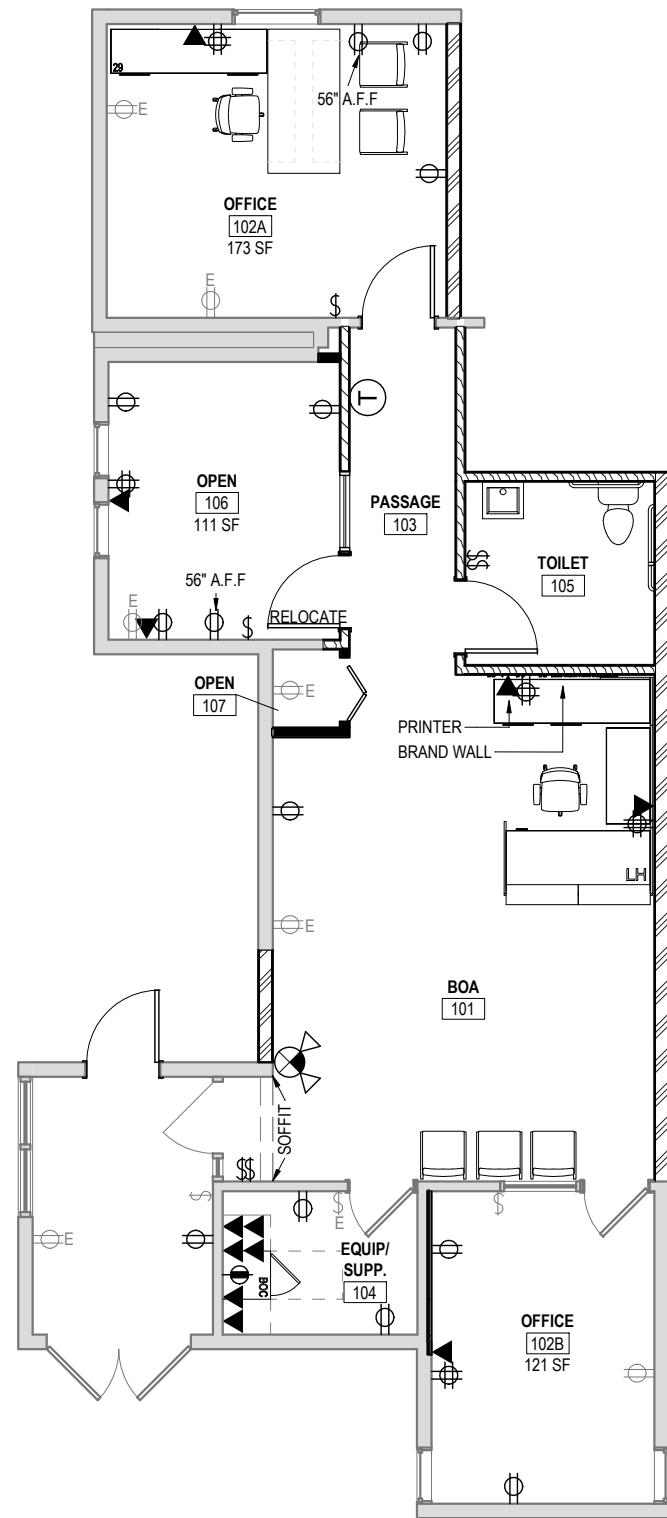
125 W. FLAMING GORGE WAY,
GREEN RIVER, WY
82935-4213

Edward Jones
BRANCH REAL ESTATE

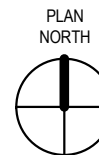
BRANCH OFFICE: 19160
DATE: 06.23.2022

SQUARE FOOTAGE: 1163 SF

EXHIBIT A
FINISH PLAN



1 FURNITURE / EDJ EQUIP. PLAN
1/8" = 1'-0"

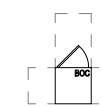


EQUIPMENT LEGEND AND DETAILS

****EQUIPMENT SUPPLIED & INSTALLED BY EDWARD JONES**

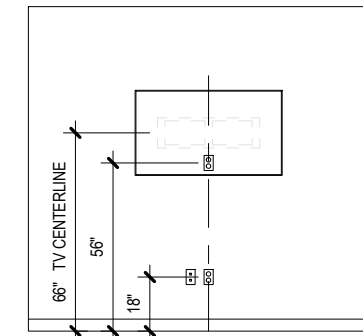
- LASER PRINTER
- COPIER/FAX/SCANNER

MONITOR ARMS



BOC (BRANCH OFFICE CONTROLLER)
PHONE SYSTEM

TYPICAL TV MOUNT DETAIL



GENERAL NOTES

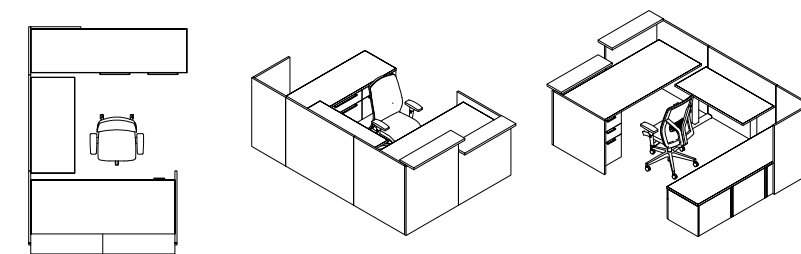
1. REFER TO PARTITION PLAN AND KEYED NOTES ON SHEET 3 FOR LOCATION AND EXACT RECEPTACLES NEEDED. TV SIZES WILL VARY.
2. TV DUPLEX TO BE CENTERED ON WALL AS SHOWN, UNLESS NOTED OTHERWISE ON PARTITION PLAN
3. CONTRACTOR TO INSTALL POWER / DATA AND BLOCKING IN WALL FOR FUTURE WALL-MOUNT.
4. FA TO SUPPLY AND INSTALL TV, MOUNT, AND ANY DISPLAY CABLES REQ'D.
5. NOTE: DISPLAY CABLES BETWEEN CPU "WORKSTATION" AND TV WILL BE VISIBLE.

STANDARD FURNITURE

GENERAL NOTES

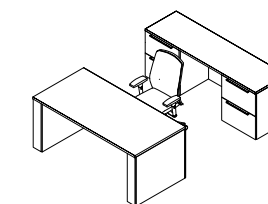
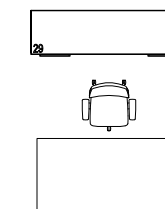
1. REFER TO PLAN FOR EXACT CONFIGURATION AND HANDEDNESS OF FURNITURE TO BE PROVIDED. HANDEDNESS CANNOT BE INTERCHANGED ONCE ORDER IS PLACED. CONFIRM HANDEDNESS WITH DESIGNER PRIOR TO ORDER.
2. EXACT ORDER TO BE VERIFIED WITH DESIGNER PRIOR TO PURCHASE.
3. ONCE ORDER IS PLACED, ANY CHANGES WILL RESULT IN ADDITIONAL CHARGES.
4. REFER TO PLAN FOR EXACT LOCATION OF WALL-MOUNTED ACCESSORIES, REFER TO ACCESSORY TAGS (X)
5. REFER TO MANUFACTURER SPECS FOR WALL-MOUNTED ACCESSORY HEIGHTS

BOA WORKSTATION

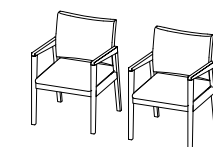


REFER TO PLAN FOR EXACT CONFIGURATION AND HANDEDNESS, LEGEND FOR REFERENCE ONLY

FA DESK



GUEST CHAIRS



REFER TO PLAN FOR EXACT CONFIGURATION, HANDEDNESS, AND ACCESSORY LOCATIONS, LEGEND FOR REFERENCE ONLY

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION

****DO NOT SCALE DRAWINGS****

**CONTRACTOR MUST HAVE (8) SHEETS FOR THIS SET OF DRAWINGS. IF YOU ARE MISSING ANY SHEETS, PLEASE CONTACT DESIGNER: VICTORIA_THROGMORTON AT: p: 314.515.1819

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SQUARE FOOTAGE: 1163 SF

Edward Jones
BRANCH REAL ESTATE

BRANCH OFFICE: 19160

DATE: 06.23.2022

EXHIBIT A
FURNITURE / EDJ EQUIPMENT PLAN

SHEET **5** of 8

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

GENERAL NOTES

1. THE FOLLOWING INFORMATION IS PROVIDED AS A GENERAL GUIDE. IN ALL CASES, IT IS PREFERRED THAT THE BUILDING STANDARD BE USED; OTHERWISE, USE THE INFORMATION PROVIDED BELOW AND ON THE DESIGN INTENT DRAWINGS, OFTEN REFERRED TO AS EXHIBIT A. IT IS THE INTENT THAT THESE MODIFICATIONS/ADDITIONS/IMPROVEMENTS WILL BE PERFORMED ON AN "AS NEEDED" BASIS, AT THE REASONABLE DISCRETION OF EDWARD D. JONES & CO., L.P. D/B/A EDWARD JONES, HEREIN AFTER REFERRED TO AS EDWARD JONES OR TENANT.
2. ANY DISCREPANCIES ON SHEETS 1-5 TO BE BROUGHT TO DESIGNERS ATTENTION IMMEDIATELY.
3. ALL WORK SHOULD BE PERFORMED BY G.C. (GENERAL CONTRACTOR) PER CITY, STATE, PROVINCIAL, AND NATIONAL CODES (ALL REFERENCES TO "CODE" IN THIS DOCUMENT TO APPLY TO CITY, STATE, PROVINCIAL, AND/OR NATIONAL CODES AS APPLICABLE). ALL CONSTRUCTION WILL BE COMPLETED SO THAT AN OCCUPANCY PERMIT (OBTAINED BY THE G.C.) WILL BE GRANTED PRIOR TO LEASE COMMENCEMENT.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST ISSUED EDITION OF THE EDWARD JONES APPROVED EXHIBIT A INCLUDED WITH THE CONTRACT FOR SERVICES AT TIME OF BID AWARD.
5. EXHIBIT A IS INTENDED FOR DESIGN INTENT ONLY AND IS NOT AN OFFICIAL CONSTRUCTION DOCUMENT. GENERAL CONTRACTOR (GC) TO OBTAIN ALL NECESSARY PERMIT DRAWINGS AS REQUIRED PER CODE; COST TO BE INCLUDED IN BID IF REQUIRED TO OBTAIN PERMITS.
6. GENERAL CONTRACTOR MUST PROVIDE ALL SUBCONTRACTORS ALL 8 SHEETS AT TIME OF BID AND/OR PRIOR TO ANY CONSTRUCTION.
7. ALL EXISTING ITEMS TO REMAIN IN BRANCH (AS SHOWN ON PLANS) MUST BE IN GOOD WORKING ORDER AND CONDITION, AND FREE OF MAJOR DEFECTS.
8. EDWARD JONES' INSTALLERS MUST BE NOTIFIED OF ANY CHANGES IN PLACEMENT OF EQUIPMENT, PHONES, OUTLETS, OR FURNITURE. EDWARD JONES HAS AN ESTABLISHED RELATIONSHIP WITH NATIONAL VENDORS FOR FLOORING, PAINT, SIGNAGE, AND LOW VOLTAGE WIRING.
9. FURNITURE, EQUIPMENT, BOTTLED WATER COOLER (IF REQUIRED BY CODE), PHONE AND DATA WIRING & ALL TERMINATIONS TO BE PROVIDED BY THE TENANT.
10. THE SPACE SHOULD BE CLEANED AFTER CONSTRUCTION.
11. WARRANTY DOCUMENTS SHALL BE PROVIDED TO THE BRANCH REAL ESTATE ONCE CONSTRUCTION IS COMPLETE.
12. UPON PROJECT COMPLETION, CLOSE OUT DOCUMENTS TO BE SUBMITTED WITH FINAL INVOICE INCLUDE: CONSTRUCTION DOCUMENTS, APPROVED CHANGE ORDERS, CERTIFICATE OF OCCUPANCY, LIEN WAIVER, FINAL PHOTOS OF SPACE, COMPLETED PUNCH LIST WITH ALL OUTSTANDING ITEMS COMPLETED, AND AN AIR BALANCE REPORT.

INTERIOR CONSTRUCTION SPECIFICATIONS

1. DEMOLITION

- a. DEMOLISH AND REMOVE FROM THE SITE ALL DEBRIS FROM THE AREAS AS SHOWN ON EXHIBIT A. LEAVE SPACE FREE OF ALL CONSTRUCTION DEBRIS.
- b. REMOVE EXISTING FINISHES ONLY IN AREAS THAT ARE TO RECEIVE NEW FINISHES PER THE FINISH SCHEDULE SHOWN ON SHEET 4. ROOMS LISTED "NIC" OR "EXIST" SHALL REMAIN AS-IS UNLESS OTHERWISE NOTED ON FLOOR PLAN.
- c. LEAVE AND/OR PREPARE FLOOR TO ACCEPT NEW GLUE DOWN FLOORING PER FINISH SCHEDULE. SURFACES THAT ARE TO ACCEPT NEW FLOORING ARE TO BE FREE OF ALL DEBRIS AND/OR RESINOUS DEPOSITS. FOR BRANCHES ON A SLAB FILL ALL FLOOR CUTS REMAINING FROM ANY PLUMBING OR OTHER TERMINATION WITH CONCRETE. DEMO ALL FLOOR OUTLETS AND PATCH AS REQUIRED. IF FLOOR HVAC VENTS ARE PRESENT IN A WALKWAY, PLEASE CONTACT DESIGNER FOR RELOCATION INSTRUCTIONS.

2. PARTITIONS

- a. ALL NEW WALLS WILL BE CONSTRUCTED OF 3/8" METAL STUDS AT 16" O.C. (WOOD STUDS ACCEPTABLE IF APPROVED BY CODE) AND 5/8" DRYWALL MINIMUM, OR MATCH EXISTING TO REMAIN.
- b. ALL NEW AND EXISTING WALLS SHALL BE TAPED AND SMOOTH, READY FOR PAINT, LEVEL 4 FINISH.
- c. ALL DEMISING WALLS TO BE BUILT TO DECK STRUCTURE ABOVE, FIRE SEALING ALL PENETRATIONS AS REQUIRED. IF PROPERTY UTILIZES A PLENUM RETURN FOR ENTIRE BUILDING, IT IS REQUIRED TO TAKE DEMISING WALLS TO HEIGHT OF ADJACENT TENANT'S WALLS AND INSTALL SECURITY FENCING FROM TOP OF WALL TO DECK TO PROVIDE A SECURE DEMISING WALL.
 1. VERIFY DEMISING WALLS ARE INSULATED AND EXTEND TO DECK; EXTEND AND PROVIDE INSULATION AS REQUIRED
 2. PROVIDE AND INSTALL SOUND BATT INSULATION ABOVE CEILING ALONG NEW DEMISING PARTITION. IF ADJACENT TENANT IS A RESTAURANT OR NAIL SALON, CAULK ALL OUTLETS AND PENETRATIONS AS WELL AS FLOOR LINE AND CONNECTION AT DECK TO AVOID SMELL TRANSFERENCE.

3. FINISH DEMISING WALL ON BOTH SIDES ONLY IF REQUIRED BY CODE, OR IF NOTED OTHERWISE ON PLANS. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF THIS IS REQUIRED DURING THE BIDDING PROCESS.
 - d. A MINIMUM OF 3" SOUND BATT INSULATION SHALL BE INSTALLED IN PARTITIONS AS INDICATED ON EXHIBIT A BETWEEN STUDS AND ABOVE CEILING WHERE THE WALL AND CEILING MEET. IF WALLS ARE EXISTING, USE BLOW-IN INSULATION.
 - e. PROVIDE RUBBER MOLD/BREAK METAL AT WINDOW MULLION, CAULK ALL SEAMS. ALL WALLS THAT END AT EXTERIOR WALLS OR MULLIONS TO INCLUDE SOUND CAULK AND RUBBER GASKET AT POINT OF CONNECTION.

3. CEILING (UNLESS BUILDING STANDARD APPLIES)

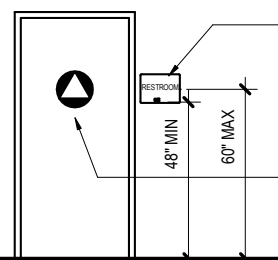
- a. CEILINGS TO BE FREE FROM STAINS AND DIRT. IF INSTALLING NEW, PROVIDE AND INSTALL 2 X 4' COMMERCIAL GRADE ACOUSTICAL CEILING TILE AND GRID. STANDARD HEIGHT FOR NEW CEILING TO BE 9'-0", UNLESS NOTED ON PLANS.
 - **BASIS OF DESIGN:**
 - MFR: USG
 - PRODUCT: OLYMPIA MICRO 4753, NRC .60, SIZE: 2' X 4'
 - PROFILE: SHADOWLINE TAPERED
 - GRID: D, USG DX FLAT GRID
 - COLOR: WHITE
 - **OR COMPARABLE ALTERNATE**
- b. MATCH BUILDING STANDARD WHERE APPLICABLE.
- c. ACOUSTICAL CEILINGS: TILES TO BE FREE FROM CHIPS AND BREAKS; ALL TILES TO BE SAME COLOR AND STYLE; GRID TO BE WHITE AND EVEN, FREE FROM HOLES (OR FILLED), AND SHOULD BE CLEAN. PAINT WHITE IF EXISTING IS IN POOR CONDITION OR A COLOR OTHER THAN WHITE. REPLACE AS REQUIRED. TILES SHOULD BE A STANDARD COMMERCIAL GRADE ACOUSTICAL TILE. CONTIGUOUS AREAS MUST HAVE MATCHING TILE.
- d. DRYWALL CEILINGS: TO BE LEVEL, HAVE AN EVEN TEXTURE (MATCH EXISTING WHERE APPLICABLE), AND BE PAINTED WHITE (SEE PAINT SPEC).

4. FIRE PROTECTION

- a. PROVIDE AND INSTALL NEW SPRINKLER SYSTEM ONLY AS REQUIRED BY CODE. IF EXISTING, MODIFY SPRINKLER LAYOUT AS REQUIRED PER CODE. INCLUDE NECESSARY PERMITS AND INSPECTIONS. HEADS MUST BE CENTERED IN TILE.
- b. PROVIDE APPROPRIATE COVERAGE OF HEADS FOR PARTITION LAYOUT AS REQUIRED BY CODE PER PARTITION LAYOUT AS SHOWN ON EXHIBIT A. QUANTITY AND LOCATION OF HEAD TO COMPLY WITH APPLICABLE CODES.
- c. PROVIDE/MODIFY FIRE ALARM SYSTEM IF REQUIRED BY LOCAL CODE.
- d. PROVIDE DESCRIPTION OF ANY LIFE SAFETY SYSTEM PROVIDED IN BUILDING AND ITS OPERATION.
- e. PROVIDE AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE.
- f. PROVIDE AND INSTALL FIRE EXTINGUISHER; TO MEET ALL LOCAL CODES.

5. TOILET/WASHROOM & PLUMBING (UNLESS COMMON FACILITIES PRESENT)

- a. PROVIDE AND INSTALL RESTROOM LAYOUT AND FIXTURES AS SHOWN ON EXHIBIT A. WASHROOM TO BE BARRIER FREE/HANDICAP ACCESSIBLE AS REQUIRED BY CODE AND AS SHOWN ON PLANS. G.C. TO ADHERE TO ANY CODES, WHICH MIGHT REQUIRE MODIFICATION OF EXISTING RESTROOM NOT SHOWN ON PLANS; CONTACT DESIGNER IF CODE REQUIREMENTS DIFFER FROM PLANS.
- b. RESTROOM TO HAVE (1) OF EACH OF THE FOLLOWING: TOILET, SINK, WATER HEATER (DEDICATED TO EDJ SPACE), GRAB BARS, TOILET PAPER HOLDER, PAPER TOWEL DISPENSER, SOAP DISPENSER & MIRROR. PROVIDE & INSTALL ANY OTHER ACCESSORY AS NOTED ON PLANS OR REQ'D BY CODE.
- c. EXISTING RESTROOM/WASHROOM FIXTURES TO REMAIN TO BE IN GOOD CONDITION (I.E. IN GOOD OPERATION AND FREE OF STAINS OR CRACKS). CLEAN AND RESET FIXTURES AS REQUIRED.
- d. SINK(S) (ONLY IF SHOWN ON EXHIBIT A) TO HAVE HOT AND COLD-WATER SERVICE. IF UNABLE TO INSTALL WATER HEATER ABOVE CEILING, INSTALL INSTA-HOT UNDER SINK.
- e. PROVIDE AND INSTALL EXHAUST FAN WITH ADEQUATE DUCTING & SEPARATELY SWITCHED AS REQUIRED.
- f. PROVIDE AND INSTALL BARRIER-FREE UNDER-SINK PIPE PROTECTIVE COVER UNDER SINK IN 105.



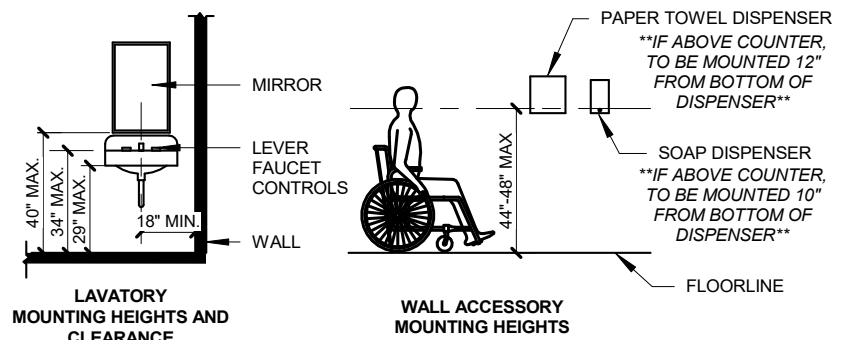
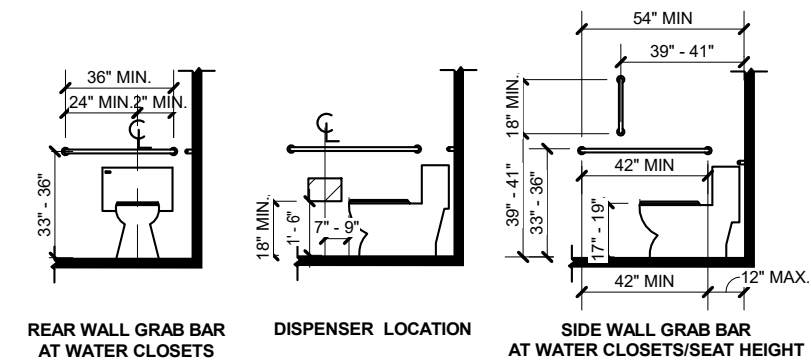
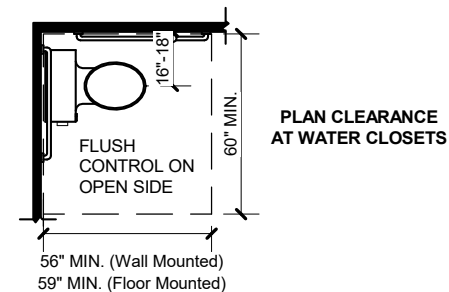
TACTILE AND BRAILLE ROOM ID SIGNAGE, ANSI A117.1 & 11B-703. ALL UPPER CASE TEXT 5/8"-2" HEIGHT, RAISED 1/32". CHARACTERS SHALL BE SAN SERIF CONTRACTED GRADE 2 BRAILLE, 703.3.4 & 11B-703.3. MINIMUM CHARACTER HEIGHT SHALL COMPLY WITH TABLE 703.2.4 & 11B-703.5.5.

RESTROOM IDENTIFICATION COLORS TO CONTRAST WITH DOOR COLOR. NO BRAILLE. UNISEX SIGN TO INCLUDE 12" DIAMETER CONTRASTING COLORS.

EDJ PLUMBING FIXTURE SCHEDULE

ITEM	MODEL-#	COMMENTS
18" GRAB BAR	BOBRICK #B-5806X18	
36" GRAB BAR	BOBRICK #B-5806X36	
42" GRAB BAR	BOBRICK #B-5806X42	
MIRROR**	24"WX36"H W/J-MOLD	
PAPER TOWEL DISPENSER	47260 – SCOTT MOD™	ELECTRONIC SLIMROLL, BLACK, PINK CODE
SINK FAUCET**	Z7440-XL FAUCET	
SINK**	ZURN #5340, WHITE	ADA-COMPLIANT WALL MOUNTED, CAULK AS REQ.
SOAP DISPENSER	32504 SCOTT MOD SKINCARE DISPENSER	WALL MOUNTED, TOUCHLESS BATTERY OPERATED
TOILET PAPER DISPENSER	09604 SCOTT SERIES INSIGHT	SURFACE MOUNTED DOUBLE ROLL TOILET TISSUE DISPENSER
TOILET SIGNAGE	PLASTIC ACCESSIBLE RESTROOM SIGN- UNISEX	
TOILET**	PF5112HEWH/PF1403TWH (LEFT FLUSH) PF5112RHEWH/PF1403TWH (RIGHT FLUSH)	ADA COMPLIANT, FLOOR MOUNTED CAULK AS REQ.

ITEMS SHOWN WITH ** MAY USE SIMILAR ALTERNATE MODEL, OTHERWISE GC TO USE SPECIFIED ITEM.



****DO NOT SCALE DRAWINGS****

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BRANCH OFFICE: 19160

DATE: 06.23.2022

EXHIBIT A
FINISH SPECIFICATIONS

SHEET **6** of 8

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

6. HVAC (UNLESS SHARED SYSTEM PRESENT)

- a. SYSTEM TO BE FULLY OPERATIONAL, IN GOOD CONDITION AND PROPERLY BALANCED UPON COMPLETION OF WORK. BALANCE BOTH HEATING AND COOLING. SYSTEM TO BE DEDICATED TO EDU SPACE.
 - HVAC BALANCE SHEET MUST BE SUBMITTED WITH INVOICE AT PROJECT COMPLETION.
- b. ALL DUCTING, DIFFUSERS, GRILLES, AND THERMOSTATS SHALL BE CLEAN, IN GOOD CONDITION AND PROPERLY FUNCTIONING. LOCATION TO BE REVISED AS NECESSARY PER NEW PARTITION LAYOUT. VERIFY THAT ALL ROOMS IN EDWARD JONES SPACE AS SHOWN ON SHEET 3/4/5 HAVE A MINIMUM OF (1) RETURN AND (1) SUPPLY GRILLE AND MEET TEMPERATURE REQUIREMENTS TO ENSURE A COMFORTABLE WORKING ENVIRONMENT.
- c. IF SPACE IS BEING SUBDIVIDED, EDWARD JONES SPACE TO BE SEPARATELY CONTROLLED--SHARING OF THERMOSTAT WITH ADJACENT SPACES IS NOT ACCEPTABLE UNLESS IT IS AN OFFICE BUILDING THAT UTILIZES A PLENUM RETURN. IF SHARED SYSTEM EXISTS, THERMOSTAT MAY NOT BE LOCATED WITHIN EDWARD JONES LEASED SPACE.
- d. VERIFY THERMOSTAT IS LOCATED IN AN ACCESSIBLE AREA OF THE SPACE AS SHOWN ON FLOOR PLAN (TYPICALLY IN ROOM 101 OR 103).
- e. PROVIDE AND INSTALL A NEW WHITE-RODGERS 7-DAY PROGRAMMABLE THERMOSTAT, UNLESS OTHERWISE NOTED ON PLANS. PROVIDE APPROPRIATE STAT FOR UNIT SIZE AND TYPE. SET THERMOSTAT FOR M-F 8-5 HOURS OF OPERATION. LEAVE INSTRUCTIONS TAPED TO THERMOSTAT FOR FUTURE REFERENCE.
- f. HVAC SYSTEM SHOULD BE ABLE TO MAINTAIN 75 DEGREE F SUMMER AND 70 DEGREE F WINTER TEMPERATURES IN ACCORDANCE WITH THE ASHRAE DESIGN STANDARDS APPLICABLE TO THIS LOCATION. IF NECESSARY, A FORMAL INSPECTION TO VERIFY EQUIPMENT CONDITION SHOULD BE DONE.
- g. EDWARD JONES BOC (AS SHOWN ON EXHIBIT A) REQUIRES VENTILATION. INSTALL A SUPPLY GRILLE IN BOC ROOM (USUALLY ROOM 104) OR AREA IT IS LOCATED IN, TO MAINTAIN CONSTANT TEMPERATURE REQUIRED.
- h. IF BUILDING UTILIZES AN OPEN PELNUM SYSTEM, PROVIDE AND INSTALL SOUND BOOTS ON EACH RETURN GRILL (HERCULES INDUSTRIES SB222 SOUND BOOTS OR SIMILAR).

7. LIGHTING (UNLESS BUILDING STANDARD APPLIES)

- a. IF T12 LIGHTING IS EXISTING UTILIZE BALLAST BYPASS LED LAMPS, PROVIDE AND INSTALL COMMERCIAL GRADE 2X4 LIGHT FIXTURES AT ONE FIXTURE PER EVERY 75 USABLE SF, SO AS TO ACCOMMODATE MINIMUM 50 FOOTCANDLES AT DESK LOCATIONS.
- b. FOR NEW CONSTRUCTION OR NEW LIGHTING REQUIRED THROUGHOUT, PROVIDE AND INSTALL COMMERCIAL GRADE 2X4 LED FIXTURES AT ONE FIXTURE PER EVERY 75 USABLE SF, IN PLACE TO ACCOMMODATE MINIMUM 50 FOOTCANDLES AT DESK LOCATIONS.
 - BASIS OF DESIGN:
 - DEALER: VILLA LIGHTING (*SEE BELOW)
 - STYLE: 2X4 LED, WITH ANGLED DIFFUSER
 - OUTPUT: W/40W, 4700 LUMENS, 3500K
 - OR COMPARABLE ALTERNATE
- c. EDWARD JONES HAS ESTABLISHED A PREFERRED VENDOR ARRANGEMENT WITH VILLA LIGHTING. PLEASE CONTACT VILLA LIGHTING FOR QUOTATION ON THE LIGHTING SPECIFICS.
- d. ALL NEW AND EXISTING LIGHTING SHOULD BE FULLY OPERATIONAL AND IN GOOD CONDITION.
- e. EXIT AND/OR EMERGENCY LIGHTING TO BE INSTALLED AS REQUIRED PER CODE.
- f. A SWITCH SHOULD OCCUR AT MAIN ENTRANCE AND WIRED TO OPERATE LIGHTING IN 101 AND PASSAGE 103 AS SHOWN ON PLAN, UNLESS EXISTING. IF SPACE HAS MORE THAN ONE EGRESS DOOR, SWITCH SHOULD BE 3-WAY TO OPERATE AT BOTH ENTRANCES; EXCLUDING BRANCHES IN CA.
- g. PROVIDE AND INSTALL EXIT LIGHTING AT EGRESS DOORS AS REQUIRED BY CODE.
- h. IF EXISTING, VERIFY THAT ALL LENSES AND LAMPS ARE CONSISTENT IN COLOR. LENSES TO BE FREE OF ANY VISIBLE DAMAGE, STAINS, OR DISCOLORATION OF ANY KIND.
- i. IN ROOMS 101 AND 103, HARD WIRE ONE LIGHT FIXTURE TO REMAIN ON AT ALL TIMES IF NOTED IN SITE SPECIFIC NOTES ON SHEET 3 OF 8. LIGHTS TO BE ORIENTED TO ALLOW ILLUMINATION OF INTERIOR COMMON AREAS FROM EXTERIOR DURING EVENING HOURS. (THIS ITEM TO BE ADJUSTED IN TITLE 24 REGIONS TO MEET LOCAL ENERGY REQUIREMENTS). SEE CONTRACTOR'S NOTES ON SHEET 3 OF 8.
- j. PROVIDE AND INSTALL (1) COMMERCIAL LINEAR SLOT WALL WASH LED TO ILLUMINATE INTERIOR LOGO. NEW CEILING TILE REQUIRED. INSTALL IN CEILING 3'-0" AWAY FROM WALL AND CENTERED ON PARTITION ABOVE INTERIOR LOGO IN 101 AS DETAILED ON SHEET 4. PROVIDE A SEPARATE SWITCH FOR LIGHT; SWITCH TO BE INSTALLED AT ENTRY DOOR UNLESS OTHERWISE SHOWN.
 - BASIS OF DESIGN:
 - MARK ARCHITECTURAL LIGHTING
 - PRODUCT: SLOT 2 LED
 - SIZE: 8'-0" LONG
 - OR COMPARABLE ALTERNATE

8. DOORS (UNLESS BUILDING STANDARD APPLIES; SEE SHEET 3 FOR PAINT/STAIN INSTRUCTIONS.)

- a. DOORS (BOTH INTERIOR AND EXTERIOR) AND OTHER WOODWORK SHOULD BE STAINED OR PAINTED TO MATCH EXISTING BUILDING STANDARD. IF NO STANDARD IS ESTABLISHED, USE PAINT OR STAIN AS LISTED IN THIS DOCUMENT. IF UNABLE TO OBTAIN DOOR BRAND AS SPECIFIED; SUBSTITUTE WITH EQUAL & ALIKE PRODUCT. FINISHED DOOR WILL BE FREE FROM UNEVEN COLOR, DRIPS OR RUNS. ALL DOOR EDGES, INCLUDING TOP AND BOTTOM, TO BE FINISHED.
- b. ALL DOORS TO BE INSTALLED CLEAR OF ANY OBSTRUCTIONS.
- c. ALL DOOR CLEARANCES TO BE MET AS SHOWN ON SHEET 3 AND PER ACCESSIBILITY REQUIREMENTS.
- d. REUSE/RELOCATE EXISTING DOORS AS NOTED ON PLANS. ANY EXISTING DOORS BEING REUSED SHALL BE TOUCHED UP AND REVARNISHED OR REPAINTED AS APPROPRIATE AND APPROVED FOR REUSE BY EDWARD JONES' DESIGNER. ANY NEW DOORS REQUIRED SHOULD MATCH EXISTING HEIGHT AND STYLE OF REUSED DOORS. DOORS CAN NOT BE UNDERCUT FOR ANY REASON. THE MAXIMUM GAP ALLOWED IS 1/2".
- e. ALL DOOR(S) TO HAVE WALL OR FLOOR MOUNTED STOPS, CONSISTENT WITH THE SPACE.
- f. NO INTERIOR DOOR CLOSERS TO BE INSTALLED UNLESS OTHERWISE NOTED ON SHEET 3.
- g. EXTERIOR DOORS:
 1. ALL DOOR(S) TO THE EXTERIOR AND BUILDING COMMON SPACES MUST HAVE CLOSERS AND DEADBOLTS WITH THUMB-TURN ON OCCUPIED SIDE.
 - A. IF CODE DOES NOT ALLOW DEADBOLT UTILIZE DEADLATCH.
 2. AT REAR DOORS LEADING TO THE EXTERIOR, PROVIDE AND INSTALL INSULATED METAL DOOR WITH METAL PRY PLATES, CYLINDER GUARD, AT LEAST ONE SECURITY HINGE WITH NON-REMOVABLE PIN (MCKINNEY TA2314 OR APPROVED EQUAL) AND PEEPHOLE INSTALLED AT 5'-0" A.F.F. WHERE DEADBOLTS ARE NOT ALLOWED BY CODE, INSTALL PHOENIX DOUBLE DEFENDER QUICK RELEASE DOOR SECURITY BAR, SERIES DD-QR (UL LISTED PANIC HARDWARE 2N43). CALL 913-723-3203 FOR LOCAL RETAILER.
 3. SUITE ENTRY DOOR(S) SHALL HAVE EXISTING OPERABLE CLOSER(S) OR RECEIVE NEW CLOSER(S). INSTALL METAL PRY PLATES AT ALL TENANT ENTRY DOORS, COORDINATE WITH LLD PRIOR TO INSTALLATION.
 4. WASHINGTON/OREGON: INSTALL EXTERIOR DOOR LATCH PADDLE.
- h. INTERIOR DOORS:
 1. NEW INTERIOR DOOR(S) TO BE NO LESS THAN 3'-0" W UNLESS NOTED OTHERWISE ON SHEET 3.
 2. ALL NEW INTERIOR WOOD DOOR(S) SHOULD MATCH EXISTING WOOD DOOR HEIGHT AND STYLE, IF APPLICABLE.
 3. PROVIDE AND INSTALL 6'-8" SOLID CORE, PAINT/STAIN-GRADE PRE-HUNG BIRCH WOOD DOORS WITH WOOD FRAME AND TRIM ARE PREFERRED IN THE EVENT THERE IS NO EXISTING STANDARD TO MATCH. DOORS FOR ROOMS 102A, 102B, 104, 105, & 106 MUST BE SOLID CORE, REMAINING ROOMS TO BE HOLLOW CORE UNLESS NOTED OTHERWISE ON PLANS. REPLACE AS REQUIRED.
 4. DOORS AND FRAMES TO BE PAINTED/STAINED PER FINISH SPECIFICATIONS ON SHEET 4.
 5. ALL NEW HARDWARE TO BE A HANDICAP ACCESSIBLE LEVER STYLE. PROVIDE NEW PASSAGE HARDWARE FOR NEW DOOR(S) TO MATCH EXISTING. IN THE EVENT THAT THE OWNER HAS ESTABLISHED NO STANDARD FINISH, BRUSHED NICKEL IS PREFERRED.

9. FLOORING (UNLESS BUILDING STANDARD APPLIES)

- a. IF NEW CONSTRUCTION, GC REQUIRED TO COMPLETE MOISTURE TEST. IF MOISTURE READING IS ABOVE 95, NOTIFY INTERFACE FLOORING IMMEDIATELY.
- b. THE EDWARD JONES STANDARD CARPET, VINYL BASEBOARD, AND LUXURY VINYL PLANK SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. INSTALL METHOD FOR CARPET IS DIRECT GLUE IN AN ASHLAR PATTERN. SEE MANUFACTURER'S INSTRUCTIONS FOR POST-INSTALLATION /CLEANING INSTRUCTIONS. LUXURY VINYL PLANK JOINTS TO BE STAGGERED 6"+ IN RANDOM PATTERN. WHEN INSTALLING, CONTRACTOR SHOULD MIX TILES FROM MULTIPLE BOXES.
 - ADHESIVE: 2000 PLUS
 - ADHESIVE SPREAD RATE: 35 SY/GAL
- a. PROVIDE A SMOOTH SURFACE FOR FLOORING INSTALLATION. IF FLOOR IS NOT LEVEL CONTACT DESIGNER IMMEDIATELY.
- b. PLEASE CONTACT INTERFACE SERVICES IMMEDIATELY AFTER AWARD OF CONTRACT TO COORDINATE FLOORING DELIVERY.
 1. GC: CARPET MATERIAL MUST BE ORDERED FROM INTERFACE SERVICES. EDWARD JONES HAS A NATIONAL CONTRACT WITH INTERFACE SERVICES. COORDINATION AND PURCHASE, AND INSTALLATION OF ALL FLOORING AND FINISHES AS LISTED IN EXHIBIT A, WILL BE THE FULL RESPONSIBILITY OF THE GC.
- c. ALL CARPET TO BE INSTALLED PER CRI STANDARDS (CARPET & RUG INSTITUTE).
- d. CARPET TO BE VACUUMED WITH NO PROTRUDING YARN AT SEAMS. IF CARPET IS EXISTING TO REMAIN IN SPACE, GC TO HAVE CARPET PROFESSIONALLY CLEANED.
- e. A FULL BOX OF CARPET TILE SHALL BE LEFT IN STORAGE AREA OF EDWARD JONES SPACE. ALL REMAINING LUXURY VINYL PLANK SHOULD BE LEFT IN EDWARD JONES' STORAGE AREA.

10. PAINT

- a. ALL EXPOSED SURFACES IN AREAS INDICATED IN FINISH SCHEDULE ON SHEET 4, SHALL BE PRIMED AND PAINTED WITH SHERWIN WILLIAMS PAINT.
- b. FOR ALL REPAINT AND REMODEL, THE PRIME COATS NOTED BELOW MAY BE EXCLUDED UNLESS COATING A BARE SURFACE. FOLLOW ALL MANUFACTURERS' RECOMMENDED SURFACE PREPARATION.
- c. ASSUME ONE TRIP FOR TOUCH UP PAINT AFTER FLOORING INSTALLATION AND FURNITURE DELIVERY. REMAINING TOUCH UP PAINT TO BE LEFT IN THE STORAGE AREA OF EDWARD JONES SPACE, CLEARLY LABELED.
- d. IF THERE ARE ANY QUESTIONS REGARDING PAINT COLORS, PLEASE CONTACT EDWARD JONES BRANCH DESIGN- DESIGNER NAME AND PHONE NUMBER LISTED ON EXHIBIT A.
- e. EXACT SPECIFICATIONS MAY BE OBTAINED FROM SHERWIN WILLIAMS: 1-800-474-3794.
- f. REFER TO PAINT SELECTION SHEET 4. COLORS MAY INCLUDE SEVERAL, BUT NOT ALL, OF THE FOLLOWING:

GYPSUM PARTITIONS (EXCEPT ACCENT WALLS & CEILINGS):
TWO FINISH COATS OVER AN EXISTING FINISH OR PRIMER.

- SHERWIN WILLIAMS:
- PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
- 1ST & 2ND COATS: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC EGGSHELL, A97-100 SERIES (IN ROLLER APPLICATIONS, USE ONLY A 1/2" NAP SYNTHETIC COVER).
- COLOR: INDICATED ON SHEET 4

GYPSUM PARTITIONS (ACCENT WALLS): (NOTE Ax , SHEET 4)
TWO FINISH COATS OVER AN EXISTING FINISH OR A PRIMER.

- SHERWIN WILLIAMS:
- PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
- 1ST & 2ND COATS: SHERWIN-WILLIAMS COLOR ACCENTS INTERIOR PROMAR 200 ZERO VOC EGGSHELL WALL FINISH, Y38 SERIES.
- COLOR: INDICATED ON SHEET 4

GYPSUM CEILINGS: ONE FINISH COAT OVER AN EXISTING FINISH OR PRIMER.

- SHERWIN WILLIAMS:
- PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
- FINISH COAT: SHERWIN-WILLIAMS PROMAR 400 INTERIOR LATEX FLAT, B30W451.
- COLOR: SW7005 PURE WHITE

INTERIOR WOOD DOORS, JAMBS & FRAMES (METAL OR WOOD)

FOR PAINT ONLY: TWO FINISH COATS OVER A PRIMER; FOR STAIN: ONE COAT, UNLESS SECOND COAT IS NEEDED FOR A CONSISTENT FINISH THROUGHOUT.

- SHERWIN WILLIAMS:
- PRIMER: SHERWIN-WILLIAMS PROMAR 200 ZERO VOC, INTERIOR LATEX PRIMER, BS28W02600.
- 1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES
- COLOR: INDICATED ON SHEET 4

OR

- SHERWIN WILLIAMS:
- STAIN: SHERWIN-WILLIAMS MINWAX PERFORMANCE SERIES TINTABLE WOOD STAIN
- COLOR: INDICATED ON SHEET 4.

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Edward Jones
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BRANCH OFFICE: 19160

DATE: 06.23.2022

EXHIBIT A
FINISH
SPECIFICATIONS

EDWARD JONES GENERAL BUILDING AND FINISH SPECIFICATIONS

EXTERIOR ONLY-METAL DOORS, JAMBS & FRAMES TWO FINISH COATS OVER A PRIMER.

- SHERWIN WILLIAMS:
- PRIMER: SHERWIN-WILLIAMS DTM ACRYLIC PRIMER/FINISH, B66W1
- 1ST & 2ND COATS: SHERWIN-WILLIAMS PROCLASSIC WATERBORNE INTERIOR ACRYLIC SEMI-GLOSS ENAMEL, B31W51 SERIES
- COLOR: INDICATED ON SHEET 4

11. ELECTRICAL

- a. ELECTRICAL TO INCLUDE OUTLETS AS SHOWN ON EXHIBIT A, INCLUDING DEDICATED OUTLET AS SHOWN ON PLAN.
 1. GENERAL PURPOSE OUTLETS
 - ALL OUTLETS TO BE PLACED AS SHOWN ON DRAWING.
 - ONE (1) QUAD OUTLET AT FUTURE WORKSTATION LOCATION AND (2) QUAD OUTLETS AT BOA WORKSTATION.
 - AT ALL TERMINALS AND OTHER OFFICE EQUIPMENT AS SHOWN ON THE PLAN.
 2. DEDICATED OUTLET
 - DEFINITION: A DEDICATED OUTLET IS WIRED DIRECTLY TO THE MAIN POWER DISTRIBUTION PANEL THROUGH A DESIGNATED (DEDICATED) CIRCUIT BREAKER. THE DEDICATED OUTLETS ARE COLOR CODED TO DISTINGUISH THEM FROM GENERAL-PURPOSE OUTLETS. ONLY THE BOC SHOULD BE PLUGGED INTO THE DEDICATED OUTLET. THE TECHNICAL INFORMATION FOR THIS OUTLET IS AS FOLLOWS:
 - ONE DEDICATED OUTLET (SIMPLEX, NOT DUPLEX) REQUIRED FOR THE BOC (SEE LEGEND ON SHEET 5 OF 8).
 - OUTLET TO BE STANDARD 3-PRONG, 120 VOLT, 20 AMP, DEDICATED CIRCUIT.
 - OUTLET TO BE SIMPLEX, ORANGE COLOR CODED RECEPTACLE (NEMA TYPE 5-15 R/IG OUTLET, GE5362-IG OR EQUIVALENT).
 - ALL GROUNDS MUST HAVE SAME GROUND POTENTIAL.
 3. RECESSED OUTLET
 - LEVITON RECESSED ONE-GANG DUPLEX RECEPTACLE (15A-125VAC 2-POLE, 3-WIRE-NEMA 5-15R) - CAT NO. 689 TO INCLUDE ELECTRICAL BOX.
 - CATALOG NO. 012-00689-00W; UPC NO. 07847731284 1
 - IF ABOVE SPECIFICATION IS UNAVAILABLE, FIND COMPARABLE ALTERNATIVE
- b. ALL OUTLETS TO BE 110 VOLT STANDARD 3-PRONG OUTLETS THAT MEET STATE AND LOCAL REQUIREMENTS (NEMA TYPE 5-15R). THE GROUNDING CONDUCTORS FOR THE BUILDING'S CIRCUITS SHOULD BE REFERENCED TO THE POINT OF "ZERO CURRENT" WITHIN THE ELECTRICAL SUPPLY SYSTEM, WHICH IS WHERE THE NEUTRAL AND GROUND FOR THE SYSTEM ARE TIED TOGETHER.
- c. EXISTING OUTLETS CAN BE USED TO MEET THE REQUIREMENTS FOR GENERAL-PURPOSE OUTLETS ONLY. VERIFY EXISTING OUTLETS TO REMAIN ARE IN WORKING ORDER.
- d. NEW ELECTRICAL OUTLETS TO BE INSTALLED WHERE SHOWN ON PLANS AT 18" A.F.F. UNLESS AN EXISTING DEVICE IS ALREADY WITHIN 36" OF THE DESIRED LOCATION; EXCLUDING WORKSTATION LOCATIONS SHOWN ON SHEET 5.
- e. DEMO/REMOVE OUTLETS ABOVE 18" A.F.F. UNLESS NOTED OTHERWISE ON PLANS.
- f. INSTALL OR REPLACE ALL OUTLET AND LIGHT COVERS/SOCKETS WITH WHITE THROUGHOUT.
- g. ALL COMPUTER EQUIPMENT FOR THIS OFFICE IS SENSITIVE TO HIGH ELECTROMAGNETIC INTERFERENCE (EMI). IT IS RECOMMENDED THAT THE AMBIENT EMI IN THE OFFICE DOES NOT EXCEED 2 MG. PLEASE NOTIFY DESIGNER IMMEDIATELY IF SITE IS LOCATED NEAR EXISTING POWER LINES, TRANSFORMERS, SUB-STATIONS, ETC.
- h. LANDLORD RESPONSIBLE FOR SETTING UP UTILITIES OR PROVIDING TEMPORARY ELECTRICAL IN SPACE THAT IS NEW CONSTRUCTION OR SPACE THAT IS BEING SUBDIVIDED. GENERAL CONTRACTOR IS RESPONSIBLE FOR ASSURING TEMPORARY POWER FOR ALL FINISH OUT WORK IF NOT ALREADY PROVIDED.
- i. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL WILL ACCOMMODATE EDWARD JONES REQUIREMENTS; UPGRADE AS REQUIRED.
- j. CONTRACTOR TO INSTALL 2'X3' MINIMUM BACKER BOARD OF FRT PLYWOOD AT BOC LOCATION. BOARD TO BE PAINTED TO MATCH THE WALL WHEN THE WALL IS SCHEDULED FOR PAINT PER THE FINISH SCHEDULE. CONFIRM WITH FIRE MARSHALL PRIOR TO PAINTING AND LEAVE RATING STAMP EXPOSED WHENEVER REQUIRED. BOARD TO BE INSTALLED AT 36" A.F.F. TO THE BOTTOM AT THE LOCATION SHOWN ON THE PLAN. REFER TO SHEET 8 OF 8 FOR EXACT LOCATION.
- k. ELECTRICIAN TO INSTALL 3/4" CONDUIT & BOX WITH PULL STRING OR MUD RING (EXISTING WALL) AT ALL LOCATIONS (SEE SECTION 12 BELOW) WITH LOW VOLTAGE COMMUNICATION CONNECTIONS. INSTALL (1) SINGLE GANG BOX AT EACH LOCATION INDICATED ON THE DRAWING WITH A TRIANGLE (▼); UNLESS ADDITIONAL ARE SHOWN. DO NOT INSTALL A DOUBLE GANG BOX AT LOCATIONS WHERE (2) SYMBOLS ARE ADJACENT. REFER TO LEGEND AND PLANS ON EXHIBIT A FOR LOCATIONS OF DOUBLE GANG BOXES.

12. LOW VOLTAGE (ALSO KNOWN AS PHONE/DATA CABLING)

LOW VOLTAGE WIRING (ALSO KNOWN AS PHONE/DATA CABLING)

- a. LOW VOLTAGE IMPLIES THE ACTUAL WIRE OR CABLE THAT IS RUN FROM THE BOC TO EACH PHONE, COMPUTER, PRINTER, AND FUTURE WORKSTATION LOCATION, WITH THE EXCEPTION OF THE DEMARC EXTENSION. LOW VOLTAGE WORK IS DONE BY EDWARD JONES BRANCH INSTALL DEPT. THROUGH A PREFERRED NATIONAL VENDOR. THIS WORK IS DONE AFTER THE SPACE IS TURNED OVER TO EDWARD JONES.
- b. IF LOW VOLTAGE WORK IS REQUIRED TO BE PERMITTED AND INSPECTED AS NOTED ON EXHIBIT A, GENERAL CONTRACTOR IS TO COORDINATE THE INSTALLATION WITH EDWARD JONES; CONTACT LEASING COORDINATOR/PROJECT MANAGER LISTED ON SHEET 1. NOTE THAT PRE-WIRE IS NOT STANDARD AND IS ONLY DONE WHEN REQUIRED VS. BEING DONE FOR CONVENIENCE. PREWIRE WILL BE REQUIRED IF CEILING HEIGHT IS OVER 9'-0" IN U.S. AND OVER 10'-0" IN CANADA; AND/OR IF INDICATED ON SHEET 3.
- c. NOTIFY LEASING COORDINATOR/PROJECT MANAGER OF LOW VOLTAGE REQUIREMENTS NEEDED IN ORDER TO OBTAIN CERTIFICATE OF OCCUPANCY.
 1. ELECTRICAL BOXES - 4X2-1/8D HANDY BOX MUST BE USED, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN NEW WALLS AND CONCRETE WALLS.
 2. MUD RINGS - MPLS METAL SINGLE GANG DRYWALL MOUNTING PLATE, PER DIAGRAM BELOW FOR ALL LOW VOLTAGE APPLICATIONS IN EXISTING WALLS.

CONDUIT-DEMISED PREMISES

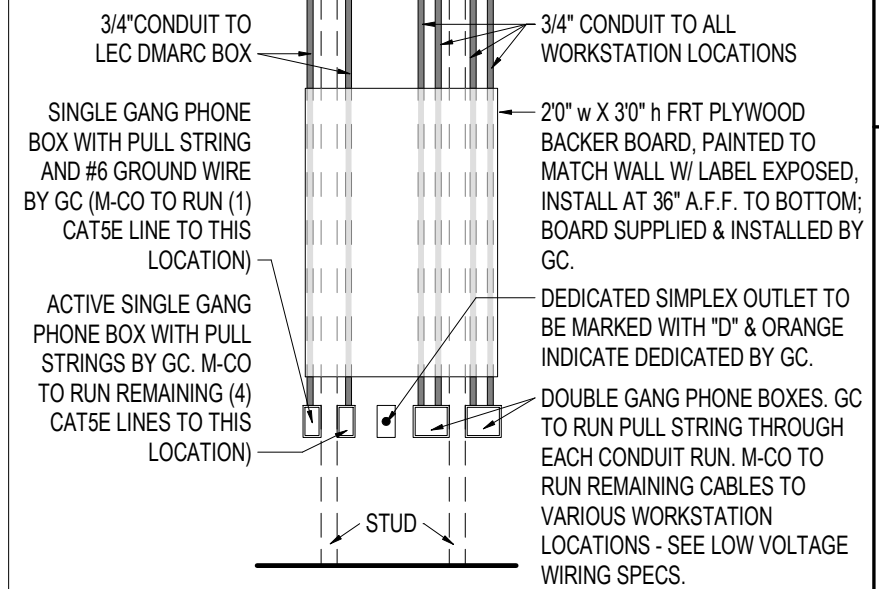
- a. CONDUIT STUB-UPS TO BE INSTALLED IN NEW WALLS WHERE PHONE/DATA/PRINTERS ARE SHOWN ON THE FLOOR PLAN (INDICATED BY TRIANGLE ▼) IF THE NEW CEILING IS DRYWALL, INSTALL CONDUIT FROM THE POINT OF CONNECTION (PHONES/DATA/PRINTER LOCATIONS INDICATED WITH ▼) AND STUB ABOVE CEILING WITH PULL STRING RUN TO THE POINT OF TERMINATION (CLIENT SERVER OR BOC).
- b. CONFIRM ACTUAL LOCATIONS ON EXHIBIT A PRIOR TO INSTALLATION. EXISTING CONSTRUCTION--CONDUIT NOT TO BE DONE IF IT REQUIRES REMOVAL OF DRYWALL PARTITIONS OR CEILINGS, UNLESS PRIOR APPROVAL RECEIVED FROM EDJ DESIGNER. IF WIREMOLD PRODUCT IS REQUIRED, INSTALL PANDUIT RACEWAY LD10E16-A.
- c. PROVIDE ONE SINGLE GANG BOX (ONE PER TRIANGLE) AND PULL STRING AT EACH CONDUIT LOCATION. LABEL PULL STRINGS AT POINT OF TERMINATION (BOC) WITH ROOM NUMBER OF POINT OF CONNECTION.
- d. IF WALLS ARE EXISTING AND CONDUIT IS NOT INSTALLED, PROVIDE PULL STRING AND CUT IN A NEW BOX AT THE SAME LOCATIONS.
- e. STANDARD STUB-UP QUANTITY: TEN (10) 3/4" DIAMETER LOCATIONS, UNLESS NOTED OTHERWISE ON PLANS - INDICATED BY TRIANGLE SYMBOL ON FLOOR PLANS.
 1. 3/4" CONDUIT LOCATIONS
 - (2) AT BOA (ROOM 101)
 - (1) AT OFFICE 102A
 - (1) AT OFFICE 102B
 - (4) AT BOC INTO DOUBLE GANG BOXES
 - (2) AT INCOMING PHONE/DATA LINES TO BOC PER PLAN (ONE ACTIVE FOR PHONES AND ONE W/ #6 GROUND WIRE RUN FROM BOX TO ELECTRICAL PANEL TO GROUND BOX FOR DATA)
 - (1) AT OPEN 106 + IF INDICATED ON PLAN
 2. ADDITIONAL MAY BE NEEDED IF ADDITIONAL DATA PORTS ARE SHOWN ON PLAN.
- f. ALL BOXES AND CONDUIT AT BOC LOCATION TO BE INSTALLED PER DETAIL. #6 GROUND WIRE MUST BE INSTALLED AND TERMINATED ON A BUSBAR FOR #6 WIRE MOUNTED ON THE BOTTOM CORNER OF THE BACK BOARD. THE BUSBAR SHOULD HAVE 4 TO 6 TERMINALS.

CONDUIT AND PHONE LINES FROM BUILDING SOURCE TO EXTENDED DEMARC (BOC)

- a. GENERAL CONTRACTOR TO INSTALL (2) 3/4" CONDUIT FROM THE BUILDING SOURCE TO THE EXTENDED DEMARC LOCATION WITHIN THE BRANCH (BOC LOCATION SHOWN ON PLAN). *****IF DATA LINES ENTER BUILDING AT A DIFFERENT LOCATION THAN PHONE LINES, (1) CONDUIT WILL NEED TO COME FROM THE DATA SOURCE TO THE GROUNDED BOX AT THE BOC LOCATION. REMAINING CONDUIT SHOULD BE RUN IN FROM THE PHONE LINE SOURCE TO THE BOC LOCATION*****
- b. CONTACT BRANCH REAL ESTATE IMMEDIATELY IF THERE ARE ANY QUESTIONS REGARDING THE NUMBER OF PHONES LINES OR LOCATION OF DEMARC EXTENSION CONDUIT.

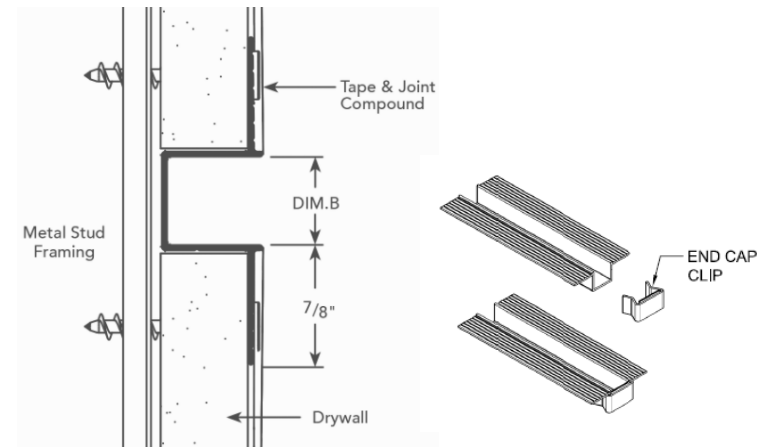
BOC REQUIREMENTS:

NOTE: CONDUIT IS INSTALLED INSIDE WALL. IF WALL IS EXISTING, CONDUIT MAY BE SURFACE MOUNTED. MUST HAVE ROOM FOR EQUIPMENT TO INSTALL ON PLYWOOD. (SEE KEYED NOTE #1 ON SHEET 3 FOR CLARIFICATION.)



13. BRAND WALL METAL REVEAL

- a. CONTRACTOR TO ORDER METAL REVEAL (EDJ-625-625) FROM FRY REGLET AND INSTALL AS SHOWN ON BRAND WALL. REFERENCE SHEET 4 - FINISH PLAN FOR LOCATION AND ELEVATION.
 1. DRYWALL GAP TO BE LEFT FOR REVEAL TO BE INSERTED AS SHOWN BELOW.
 2. METAL REVEAL TO BE SECURED IN PLACE WITH SCREWS.
 3. TAPE AND APPLY JOINT COMPOUND AS SHOWN BELOW.
 4. METAL REVEAL AVAILABLE IN 10'-0" SECTION ONLY.
 5. INSTALL END CAP CLIP WHERE APPLIES AT OPEN ENDS



14. MISCELLANEOUS - (ONLY IF SHOWN ON EXHIBIT A)

- a. FIXED WINDOW
 1. NEW INTERIOR WINDOW BETWEEN FA OFFICE AND BOA AREA TO BE A FIXED, 42"W X 30"H AND INSTALLED AT 42" A.F.F., UNLESS NOTED OTHERWISE; FRAME TO MATCH DOOR FRAMES.
 2. GLASS TO BE CLEAR, 1/4" TEMPERED STATIONARY PANEL. GLIDERS AND MIRRORING WINDOWS NOT ALLOWED.
- b. FIREPLACES, STOVES, SHOWERS, TUBS
 1. ALL GAS AND PLUMBING LINES TO THESE ELEMENTS/FIXTURES TO BE RENDERED INOPERABLE AND ALL LINES TO BE CAPPED.
 2. IF WOOD BURNING FIREPLACE EXISTING GC TO INSTALL COVER MADE FROM LUMBER AND DRYWALL THAT RESTS INSIDE THE OPENING AND DOES NOT DAMAGE THE FIREPLACE.

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